



LANDSCAPE STANDARDS

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VINTAGE TOWNSHIP

LUBBOCK, TEXAS

EDAW

LANDSCAPE STANDARDS STELLAR

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LANDSCAPE PRINCIPLES

Organization

The Landscape Standards are established to outline the essential landscape components and configurations that will enhance the character of Vintage Township. These Landscape Standards are broken into the following sections: Landscape Principles, Design Vision, Residential Design Zones, Commercial Design Zones, Public Landscaping, Landscape Amenities, Irrigation, Planting Requirements and Materials. The Landscape Standards ensure the quality development of a pedestrian-friendly environment. These standards will create dynamic places that support a sense of place and livability throughout the neighborhoods.

Landscape Vision

The vision is to establish standards for the design, construction, and maintenance of all landscaping in Vintage Township, which as the community matures, will create intimate outdoor rooms, promote pedestrian and recreation activity, and enhance the architecture of the built environment.

Landscape Principles

The following are principles for landscaping in Vintage Township:

- Landscaping is as important as architecture in creating a sense-of-place and a neighborhood of character.
- Landscaping should reflect and support the urban design of Vintage Township by providing structure and continuity.
- Landscaping should enhance the architecture of the built environment.
- Landscaping should enhance the pedestrian appeal of the community.
- Landscaping should be articulated with a variety of elements and styles to promote interest and character.
- Investment in landscaping will yield significant benefits in the future.
- Greater maturity of plants at the time of planting is critical to creating landscape appeal early.
- The wise and judicious use of water is important.
- Sustainability is a priority for all landscape improvements.

Design Principles

The following are general principles to utilize in the design of landscape improvements in Vintage Township:

- Continuity
- Variety
- Balance (Symmetrical, Asymmetrical, Radial)
- Scale and Proportion
- Rhythm

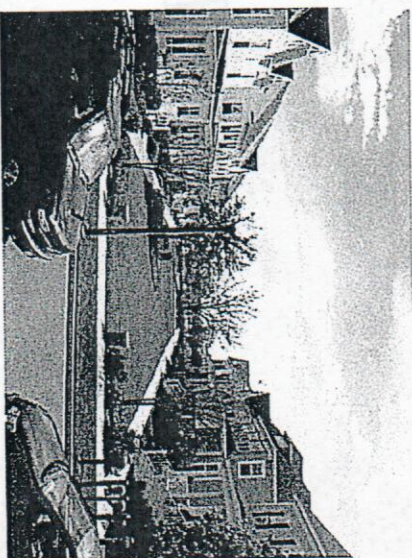
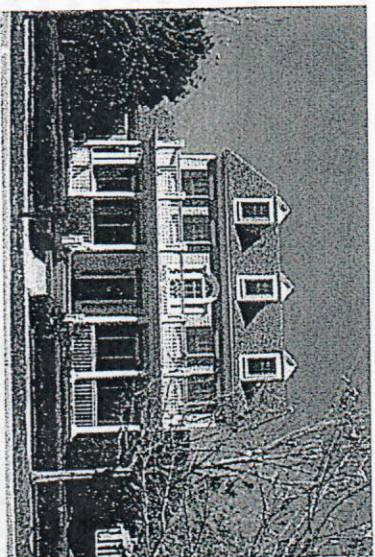
Landscape Character and Concept

The landscape of Vintage Township is intended to reinforce traditional building principles and reflect a sense of community inherent in the great small towns of America. Tree-lined streets, distinctive and intimate neighborhood parks, pedestrian connectivity, and the provision of needed shade is intended to create a comfortable environment that is attractive, functional, and memorable for residents and visitors.

Landscape Themes

The landscape in the public space of Vintage Township is intended to reflect a layering of designed patterns that support the concept of traditional neighborhood development. The following are overriding themes that all development within Vintage (including landscaping) will be based on:

- **Heritage Theme**
 - Where appropriate, landscaping will reflect an American, Texan, and Lubbock heritage.
 - Concepts having to do with the American Identity and History are important to both reinforce and celebrate Texas heritage is something that likewise can be accentuated in various ways.
 - Lubbock's heritage as an agricultural, educational, and medical community along with other aspects of our rich past should be highlighted and emphasized where appropriate.
- **Christian Faith Theme**
 - Lubbock's culture has long been influenced by its Christian faith. Such faith has directed its citizens and the direction of the city from its inception.
 - Christian oriented principles and teaching are encouraged to be integrated into designs throughout the community where appropriate.



Vintage Township adheres to the principles of a Traditional Neighborhood Development. This requires walkable streets and places for community interaction.

ORGANIZING ELEMENTS

One way that the vision for Vintage Township will be realized is through careful planning and implementation of time-tested principles. The public domain—the street, the park, the neighborhood—can be seen as a system of horizontal and vertical layers that create a legible system of spaces that establish community character.

Horizontal Layering

Residential landscape design must embody the three social realms used to organize space: semi-private, semi-public, and public. The landscape in these social realms enhances the streetscape and provides pedestrian-friendly and comfortable urban environments. Vintage Township landscapes shall be designed in organized layers to provide a clear distinction between public, semi-public, and semi-private space. Although the streets are highlighted in this description, this approach applies to alleys as well.

Public Realm

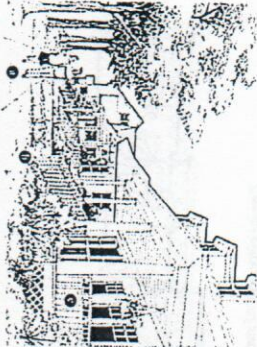
The first horizontal layer begins at the curb and includes the sidewalk and the tree lawn. Fronted by residential dwellings, this layer extends the length of each block and provides continuity within the streetscape.

Semi-Public Realm

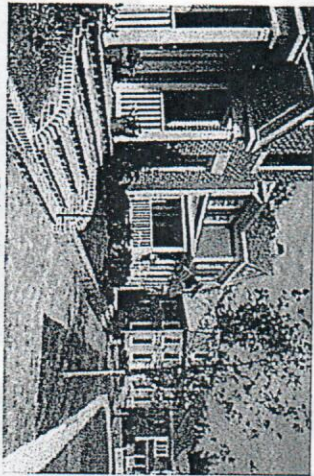
The second horizontal layer is the transition zone between public and semi-private space. This zone begins at the back of the sidewalk and extends to the base of the porch and back to the fence or wall between dwellings. Here, the front yard—lawns, plant beds, fence and wall—establish privacy boundaries.

Semi-Private Realm

The private realm is defined by the front edge of the porch and the face of the building. Slightly raised above the sidewalk elevation and comfortably set back, this semi-private space allows for pots, hanging baskets, window boxes, and private outdoor furnishings.



Transition from public space to semi-private space
a. Public b. Semi-Public c. Semi-Private



Horizontal Layering

Vertical Layering

To support the urban density of Vintage Township neighborhoods, vertical layering will help shape the public realm and enhance the pedestrian environment. Consideration shall be given to vertical layering on the following three levels:

Overhead Elements

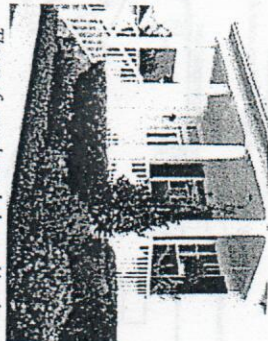
Large trees provide spatial structure and shade. Their canopies provide a sense of enclosure within the public street and create the framework for smaller "garden rooms" of ornamental trees and shrubs.

Eye-Level Elements

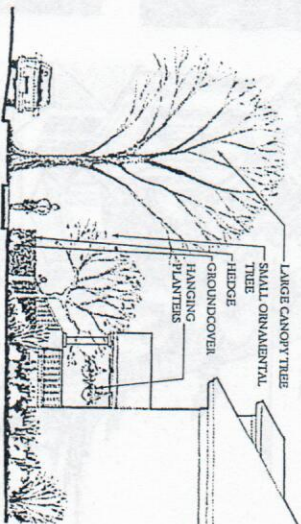
This second layer adds color and human-scaled definition with shrubs, hedges, walls, fences, hanging plants, and borders. These elements help transition the house to the ground, separate public and private spaces and direct and welcome visitors into the home.

Ground-Level Elements

Ground-level elements include groundcover landscaping and paving. These elements should support the building architecture and frame private entrances. Organize these elements to support urban landscape patterns that tend to be more orthogonal, respecting the edges of the home, porch, sidewalk, and property lines. Ground level elements consist of plants, special paving, and potted plants to define entry ways.



The use of groundcover, hedges, and hanging plants supports vertical layering



Vertical layering helps define the outdoor space.

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RESIDENTIAL DESIGN ZONES
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PARKWAY/TREE LAWN

Definition

The Parkway/Tree Lawn Zone is the area between the right-of-way/property line and street curb along all front or side yards. This zone is typically located in public right-of-way and is not part of the lot (verify unique conditions with Final Plat). Landscape design in the Parkway/Tree Lawn Zone is predetermined by the Master Developer and is illustrated on the Street Tree Master Plan. Trees within the Parkway/Tree Lawn will be installed by the Master Developer. Maintenance of the Parkway/Tree Lawn Zone will be the responsibility of the adjacent landowner, unless otherwise noted on the Street Tree Master Plan. Any modifications in the Parkway/Tree Lawn Zone shall be subject to approval of the Design Review Board (DRB).

Street Tree Program

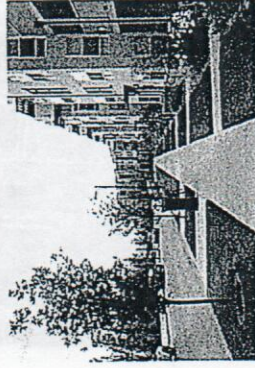
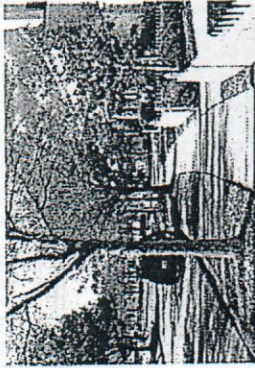
Shady tree-lined streets are a fundamental component of Vintage Township's character. Trees shall be included in all parkway/tree lawns, evenly spaced and coordinated with street lighting and signage. All street trees shall consist of a single trunk, with canopy at maturity not less than 7'0" above grade. A Street Tree Master Plan is included in the Landscape Design Standards. This plan identifies preferred species that support traditional neighborhood streetscape and enhance community character. Refer to Street Tree Master Plan specific requirements for Parkway/Tree Lawn landscape design.

Street Tree Type and Spacing

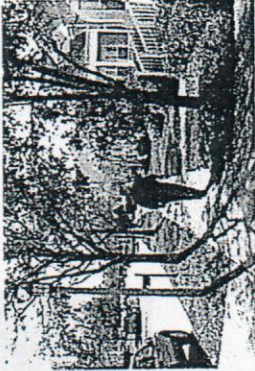
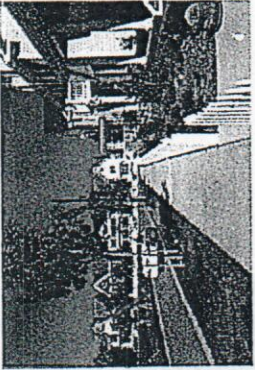
The actual species and typical spacing of street trees is identified for all streets on the Street Tree Master Plan. Installation of street trees shall be coordinated with the Parcel Lot Improvements. Spacing adjustments may be required for coordination of utilities, street lights, fire hydrants, and driveway or alley locations.

PARKWAY/TREE LAWN REQUIREMENTS:

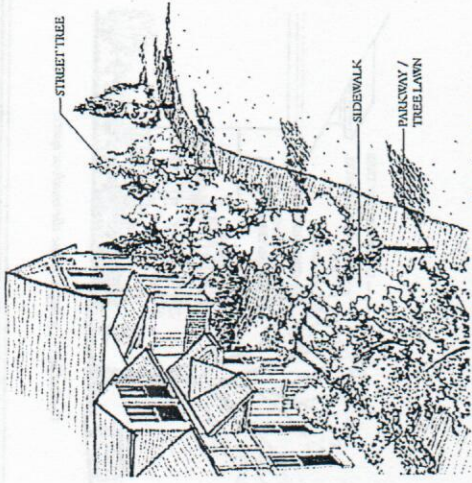
- Street tree plantings are required along all public streets.
- Provide street trees aligned in rows, parallel to the curb and centered in the parkway/tree lawn.
- Street tree spacing should be a minimum of 25 feet on center (O.C.) with the following minimum tree at installation:
 - Boulevard and Main Streets 6" caliper
 - Collector Streets 4" caliper
 - Local Streets 4" caliper
 - Alleys 2-1/2" caliper
- Plant tree lawns with sod.
- Adjust tree spacing to accommodate driveways and street lights.
- Provide mulch rings at all trees 3' diameter



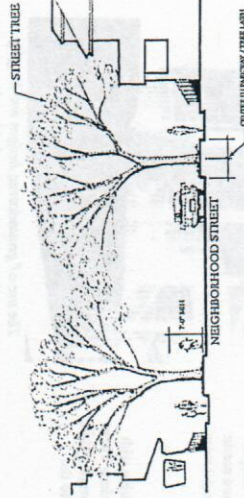
Parkway tree lawn transitions from the public to private realm.



Street trees separate pedestrians from vehicular traffic.



Street trees planted in the parkway/tree lawn are parallel to the curb and centered.



Canopy trees on both sides of the street frame and enhance the streetscape.



Regular placement of street trees unifies neighborhoods.

FRONT YARD ZONE - GENERAL

Definition

The Front Yard Zone includes all landscaped areas between the right-of-way/property line and the foundation of the house, including the area on the side of the house up to the fence return. On corner lots with a side yard that faces the street, the landscaped area between the sidewalk and the face of the garden wall or fence shall be treated in the same manner as the Front Yard Zone.

Front Yard Planting Conditions

Due to its visibility from the street and neighborhood, the Front Yard Zone is the most important in terms of design. It must be compatible with and of comparable quality to all the other front yards on the same block. While individuality is encouraged, the Front Yard Zone should be thought of in the larger neighborhood context and not just for the individual lot.

Landscaping design, installation, and maintenance in the Front Yard Zone is the responsibility of the Builder or homeowner and must be installed prior to initial occupancy of the home by the Homeowner. Maintenance in the Front Yard Zone is the responsibility of the Homeowner.

Plant materials in the front yard will be guided by functional criteria that vary with respect to differing lot conditions. Front yard landscape plans shall be designed by a landscape architect and approved by the DRB. Landscaping can be achieved using a combination of the following planting design approaches:

- Screen Planting
- Blended Planting
- Foundation Planting
- Turfgrass Planting
- Enhanced Planting

Front Yard Planting Requirements

The front yard landscape design shall include strong simplistic compositions with a minimum of three (3) and a maximum of ten (10) different shrub and groundcover species. As a minimum, the density of planting in front and side yard landscape shall be one plant per ten (10) square feet of actual plantable area (excluding turf areas). In general, the landscape design of the Front Yard Zone should support the Village Township Design Principles. It should have a well-designed simplicity instead of a disorderly mix of plant materials. Medium height blended or screen planting shall buffer and provide separation along side yards.

SINGLE-FAMILY HOME REQUIREMENTS:

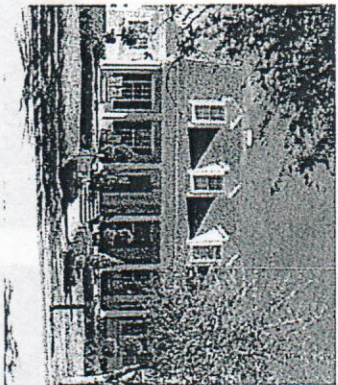
Landscaping requirements for detached Single-Family Homes at Village Township provide planting standards that complement the broad mix of housing types. The landscape for these lot types reinforces the neighborhood character through street tree patterns and enhances homes through front yard landscaping.

- Turfgrass 5%
- Shrubs 15%, min.
- Groundcover/Perennials 25% min.
- Ornamental Trees 1 per lot min.
- Trees Wood picket or wrought-iron
- Street Wall Masonry hoes and columns

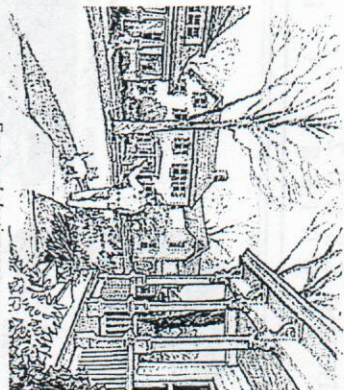
TOWNHOUSE REQUIREMENTS:

The careful design and delineation of public, semi-public, and private spaces are key to the success of the higher-density townhouses at Village Townships. Front yard gardens can help connect these smaller buildings to the streetscape.

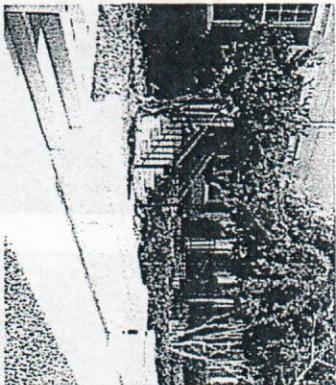
- Turfgrass 5% min.
- Shrubs 15%, min.
- Groundcover/Perennials 30% coverage min.
- Trees 1 per lot min.
- Street Wall Wrought-iron or low masonry



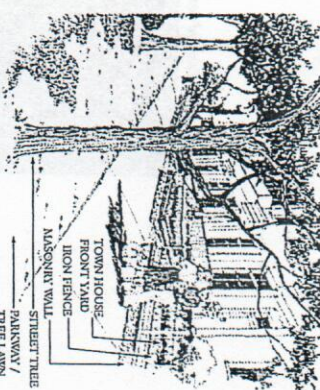
Front yard planting conditions



Front yard planting zone



Example of low wall to separate the public and semi-public realms at Townhouses



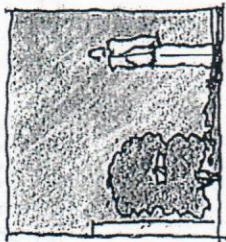
FRONT YARD PLANTING ZONE
TOWNHOUSE
FRONT YARD
IRON FENCE
MASONRY WALL
STREET TREE
PARKWAY/
TREE LAWN

FRONT YARD PLANTING APPROACHES

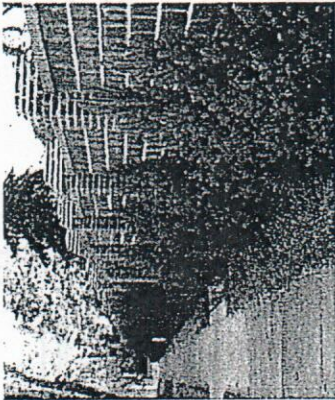
Screen Planting

The screen planting approach provides a landscape buffer in front of fences, walls, or building foundations in order to soften large exposed hard lines in the landscape. Screen planting can also be utilized to provide privacy adjacent to public spaces, delineate areas of different uses, and/or create organizing elements in the design of outdoor spaces. Screen planting is normally achieved through a regular spacing of shrubs or small trees to form a hedge and with vines that attach to the wall or fence. Spacing is dependent upon type of materials used but materials shall be selected to form a continuous hedge (touching each other) within three (3) years after planting.

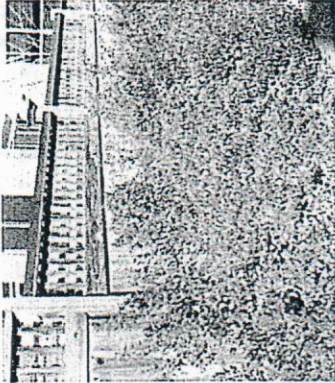
Screen planting is required adjacent to all side yard fences, exposed building foundations and at large un-articulated building walls or garden walls. All plant beds shall be a minimum of two (2) feet wide.



SCREEN PLANTING
-REQUIRED TO SCREEN BARE WALLS AND PRIVATE ZONES.
-VINES FOR SCREENING.
-LARGE AND SMALL SHRUBS.



Example of screen planting.

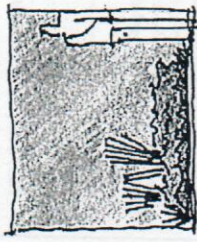


Example of screen planting.

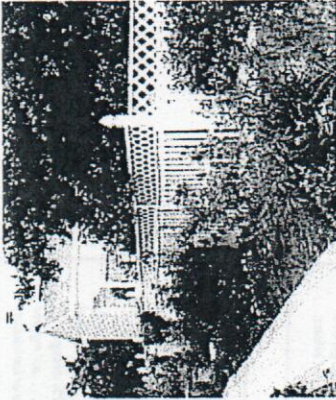
Blended Planting

Blended planting includes formative mass plantings of complementary ornamental trees, shrubs, grasses, and/or groundcovers that cover large areas and provide a variety of texture and color. This landscape approach combines primarily small and medium plant materials with accent plants for contrast. Plant spacing is determined by species but will be required to fill in over time to appear as a mass of planting with few or no gaps within three (3) years after planting. Blended planting may be used to transition from one lot to another by coordinating bed layouts and materials selection to form a composition that encompasses more than one lot.

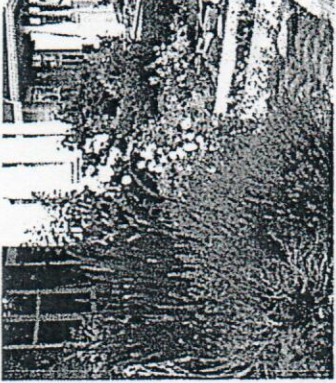
Blended planting is required where two adjacent lots have beds that extend to the sideyard lot line. All plant beds shall be a minimum of three (3) feet wide.



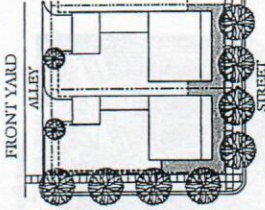
BLENDED PLANTING
-MASS PLANTING OF SHRUBS, ORNAMENTAL GRASSES, AND PERENNIALS - MEDIUM AND SMALL SIZES.
-TWO GRASSES MAY BE USED IN FOREGROUND / STREET SIDE IN LIEU OF SHRUBS.
-COORDINATE WITH ADJACENT LOT FOR LARGER PLANTING AREAS.



Blended planting can be used as a screen/buffer.



Blended planting provides a variety of shapes, textures, and colors to enhance the street edge.



FRONT YARD PLANTING APPROACHES

Foundation Planting

Foundation planting shall be composed of medium, or medium and small shrubs (dwarfed) that are planted at a regular spacing parallel to, or along the line of the building foundation. Foundation planting helps to anchor or transition the building to the site and often hides unattractive building details just above the finished grade. Plant spacing varies with the type of materials selected but will be required to fully screen exposed foundations within three (3) years after planting.

Foundation planting is required along the front foundation or porch lattice edge of each building and shall wrap around corner to fence or ten (10) feet from building corner, whichever is greater. All planting beds shall be a minimum of three (3) feet wide.

Turfgrass Planting

Turfgrass planting is simply the use of turf type, sod forming grasses in the yard. All front yards and parkway tree lawns shall be required to use the same type of turfgrass in order to create a consistent appearance in the street edge.

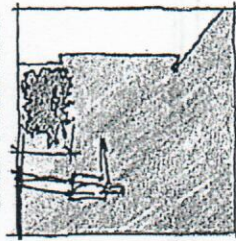
Turfgrass for parkways and front yards shall be turf-type Tall Fescue as shown in the Approved Plant Palette.

Turf areas shall be a minimum of six (6) feet wide and ten (10) feet long and clearly defined by concrete or other flat masonry border. Wood, scalped and plastic borders are not permitted.

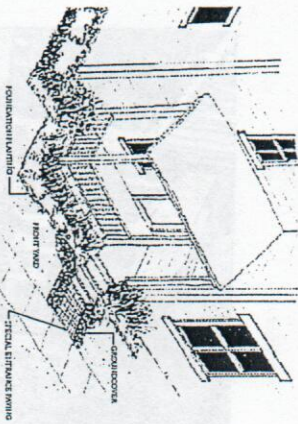
Enhanced Planting

Enhanced planting consists of an upgraded palette of landscape materials, often used in conjunction with an enhanced architectural or hardscape element, in an arrangement that provides a higher level of visual interest and focus than elsewhere in the community. Specimen trees, shrubs, ornamental grasses having unique form, texture, and/or color shall be used in a designed composition. On signature lots, garden wall fence materials and landscape plants selected for visual interest consistent with a signature element, as required by the land plan.

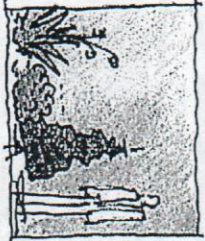
Enhanced planting is required in significant areas such as at community centers and visual terminals of key streets and on lots designated as Signature and Gateway lots on the Opportunities and Constraints Plan in the Vintage Township Master Plan.



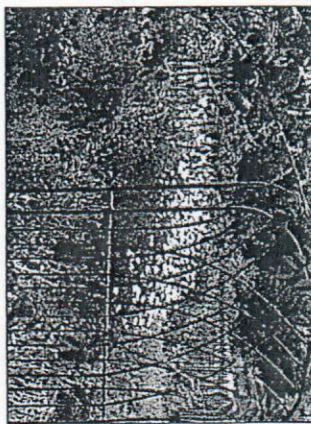
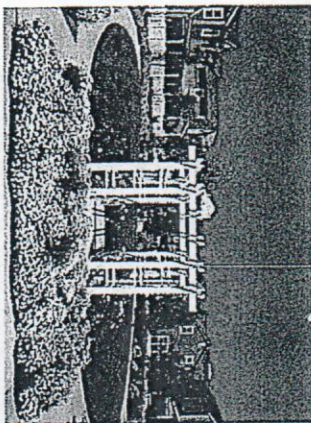
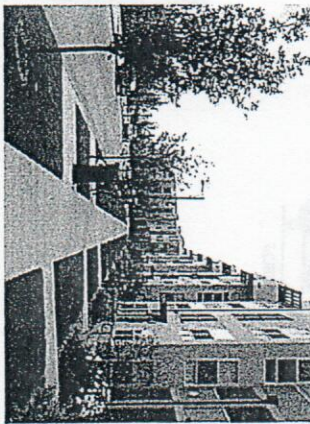
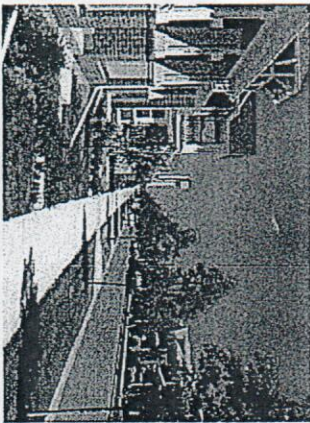
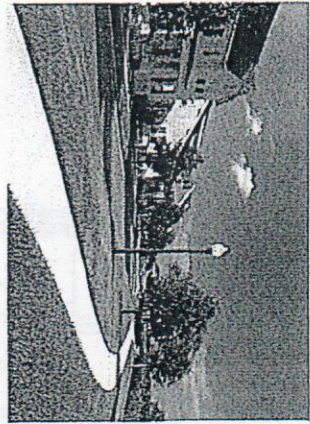
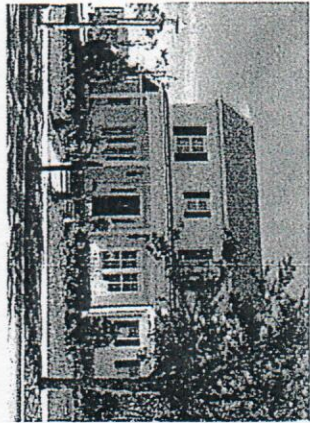
FOUNDATION PLANTING
-REQUIRED ADJACENT TO FOUNDATIONS.
-MINIMUM SPECIES SHRUBS, SPACED NOT LESS THAN 2 FT. O.C. TO FULLY SCREEN BUILDING FOUNDATION.
-PLANTS TO BE A MINIMUM 5 GAL. SIZE AT TIME OF INSTALLATION.



Foundation Planting creates a transition from building to ground.



ENHANCED PLANTING
-FOCAL PLANTING USES A VARIETY OF ORNAMENTAL TREES, SHRUBS AND PERENNIALS TO ACHIEVE VISUAL INTEREST



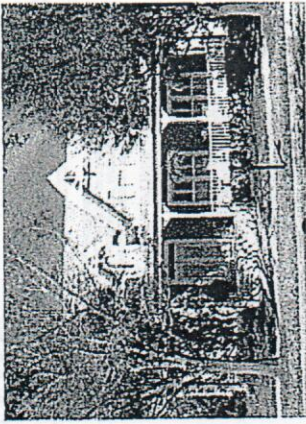
PORCH ZONES

Definition

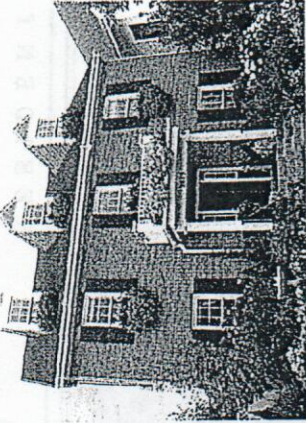
The Porch Zone includes all parts of the building that are not fully enclosed and are visible to the street. Landscape enhancements in porches shall be installed and maintained by the Homeowner.

PORCH REQUIREMENTS:

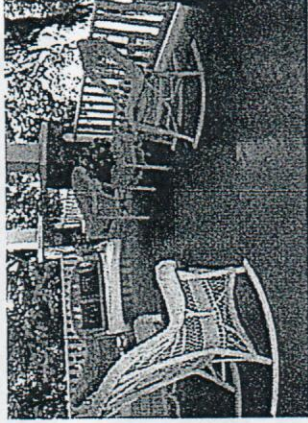
Planting on the porch, in pots, or in rail and window boxes, is encouraged at Vintage Township. Seasonal planting shall consist of annuals, soft or perennials. Containers shall be compatible with the architectural style and color of the building.



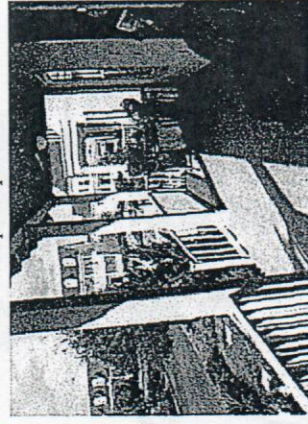
Hanging plants and outdoor furniture provide comfortable semi-private space.



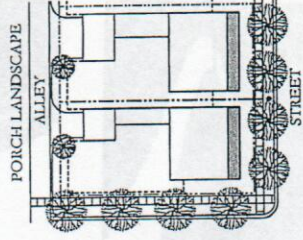
Window boxes and pots enhance street edge.



Porch furniture provides comfortable outdoor seating.



Porch furniture provides comfortable outdoor seating.



Porch landscaping enhances the street edge and provides a comfortable outdoor seating area.

BACK YARD ZONES

Definition

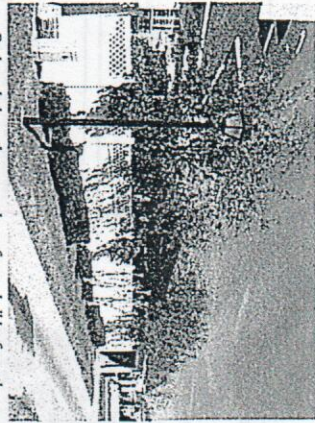
The Back Yard Zone includes all areas that are beyond the prescribed building and fence setbacks and are enclosed by rear and side yard fences or garden walls. Landscape in the Back Yard Zone shall be installed and maintained by the Homeowner.

Back Yard Conditions

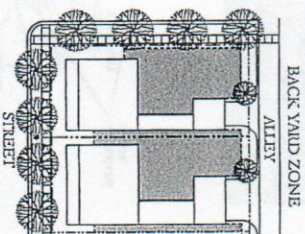
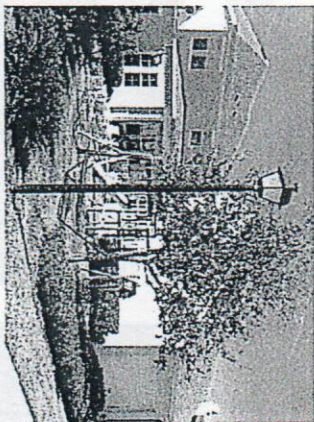
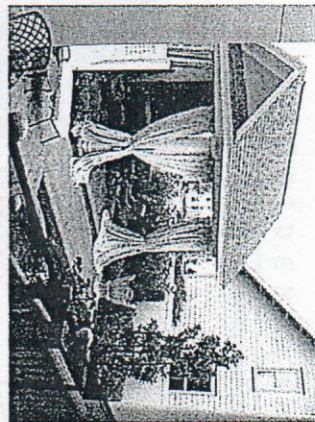
Back yard landscaping must be installed within nine (9) months after initial occupancy of the home. All materials that exceed or will grow higher than the fence/garden wall must be selected from the Approved Planting Palette found in this document and are subject to the approval of the DRB. Likewise when a fence is permeable and the back yard is visible to pedestrians and therefore impacts the public domain, all landscaping in such an area will be subject to the prior approval of the DRB. Provided that a fence or garden wall is present and the landscape design for the back yard complies with these requirements, no further review by the DRB is required for landscaping in the back yard.

BACK YARD REQUIREMENTS:

Back yard shall be fully landscaped and irrigated. Except for plants and other materials that can be viewed over or through the fence, and except for materials not permitted by state and local laws, back yard materials and design are at the discretion of the homeowner.



Back yard plants that grow above fence shall be from the Approved Plant Palette.



ALLEY ZONE

Definition

The Alley Zone includes the areas between the alley pavement and the rear garden wall, fence, or other structure. Part of the Alley Zone is in the public right-of-way and the rest is on the private lot. Landscape design and installation in the Alley Zone is the responsibility of the Builder and shall be installed prior to initial occupancy by Homeowner. Maintenance of all landscaping in the Alley Zone is the responsibility of the Homeowner.

Alley Planting Type and Spacing

Tree planting is not allowed within the five foot right-of-way portion of the planted strip. Screen or Blended planting arrangements are required in the area between the alley right of way and the rear garden wall, fence or other structures. See front yard planting approaches for description of these landscape types. All hardscaping (including concrete, gravel, or rock) which could be used to park on is strictly prohibited in the alley zone.

Requirements

A minimum of one (1) tree per lot is required in the Alley Zone. The center of the tree must be planted a minimum of seven (7) feet from the edge of the alley pavement. Due to space limitations in the alley, trees shall be limited to those approved for use in the alleys as listed in the Approved Plant Palette.

Planting beds shall be a minimum of three (3) feet wide continuous along the rear yard fence and providing screening of utility structures as permitted by the utility companies.

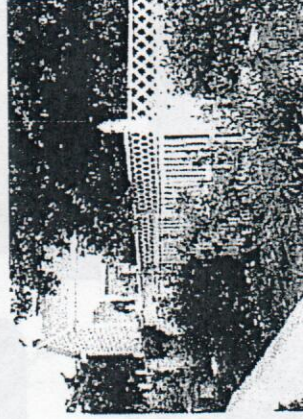
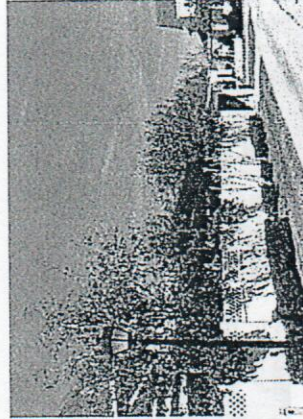
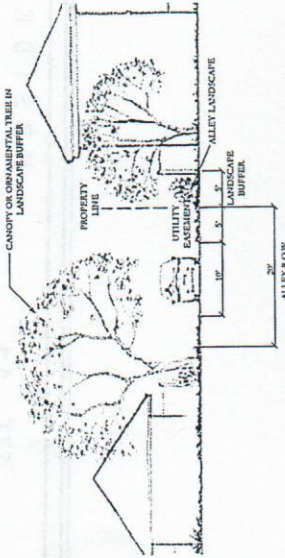
Plants provide color, life, and enter in the alley. Shrubs and groundcover create seasonal color and texture. Trees provide shade, movement, and spatial structure. The alleys will include central alley pavement flanked by two landscape zones for utilities and plants.

LANDSCAPE BUFFER REQUIREMENTS:

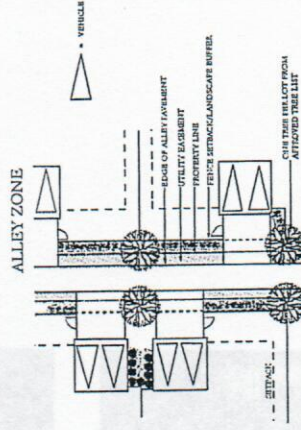
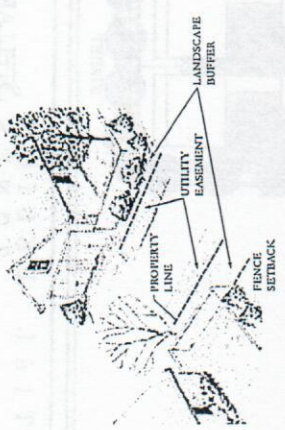
- Plant the utility easements and adjacent lawn areas with Bermuda grass (no other grass is allowed without DRB approval).
- Plant remaining fence setback/landscape buffer with a minimum of one shrub per three (3) linear feet of landscaped frontage per lot.
- Plant shrubs a minimum of two (2) feet from the property line, garden wall, fence or structure.
- Irrigate the entire ten (10) foot landscape buffer with traditional drip for shrubs and with subsurface drip for groundcover and grass for sod.
- Use of native and drought-tolerant plantings in the alley is encouraged.
- Landscape edging is required between shrub beds and turf areas.

TRANSFORMER/PEDESTAL REQUIREMENTS:

- Transformers and pedestals are to be accommodated within the setback (and as needed) with encroachments onto private yards.
- Buildings and fences must be placed with adequate clear distance from utility structures.
- Plant shrubs at the base of utility structures to screen their appearance, as permitted by utility agencies.



Landscaping shall be provided to adequately screen utility pedestals and transformers.



SPECIAL CONDITIONS

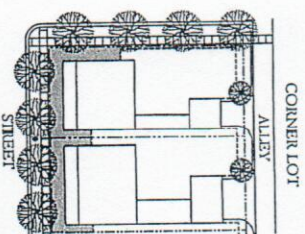
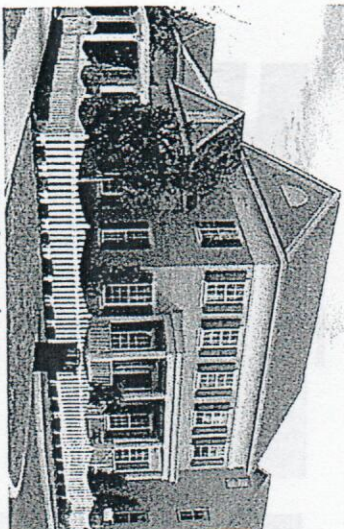
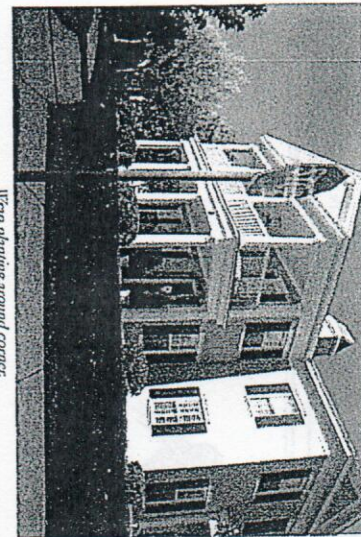
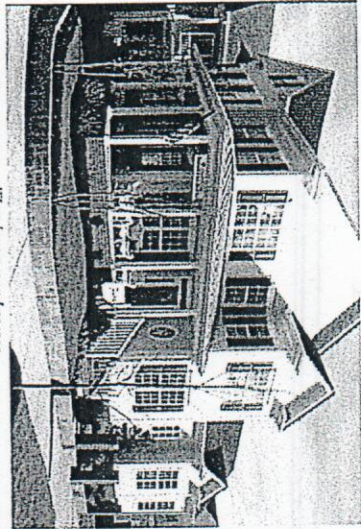
Corner Lot Landscape

Corner Lots are those with frontage on more than one street. Because of their visibility, Corner Lots have a significant impact on the character of the neighborhood. For that reason special standards apply for Corner Lots in Vintage Township.

- For Corner Lots the following special design criteria shall apply:
- All areas between a side yard garden wall, fence or other structure, and the back of sidewalk must be landscaped as required for a Front Yard Zone.
 - Maintain similar planting densities on all exposed sides of Corner Lot.
 - Soften exposed garden walls and fences with screen or blended planting arrangements.
 - Wrap corner with bed plantings and turf, when turf is used.

CORNER LOT REQUIREMENTS:

- The front yard landscape and fence or garden wall on corner lots must be continuous around the corner.
- The side yard landscape extends to the garden wall until the rear accessory building wall.
- The side yard of all corner lots shall include planting of shrubs within a continuous bed. The remaining area is planted with ground cover, perennials, or turfgrass.



EDAW

VINTAGE TOWNSHIP
LUBBOCK, TEXAS

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RESIDENTIAL DESIGN ZONES

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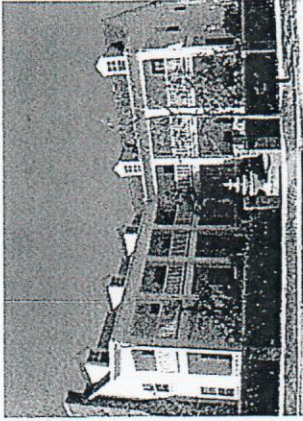
Signature Lot Landscape

For lots designated as Signature Lots in the Opportunities and Constraints Plan, or as additionally designated by the DRP, the following special design criteria shall apply. Since Signature Lots are often strategically located, oversized or undersized and/or odd shaped, special landscape considerations are required. Larger scale trees, larger areas of turf, and areas of enhanced or blended planting will help fill in the voids between homes created by a Signature Lot.

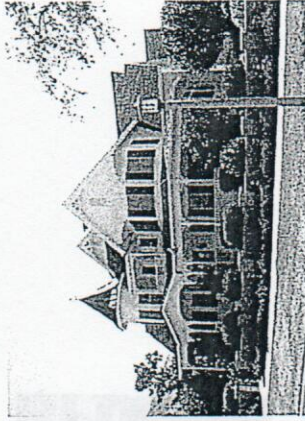
- Highlight the distinctive character of Signature Lots with increased emphasis on planting, landscape features, and higher density planting and higher number of trees.
- Additional large scale landscaping is needed to fill voids on Signature Lots.
- Larger plants are encouraged.
- Use screen plantings to mask fences and walls around yards.
- Provide written summary on Landscape Submittal Sheet outlining special design considerations used on each Signature Lot.

SIGNATURE LOT REQUIREMENTS:

- Controlled parking/tree lawn around corner.
- Gaps in street trees at strategic locations to reveal signature architecture and landscape elements.
- Higher quality, articulated garden wall or fence required.
- Enhanced landscaping required.

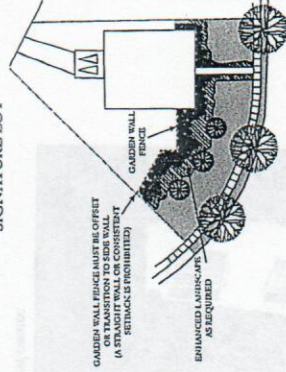


Enhanced landscape including porch planting.



Architectural fence treatment.

SIGNATURE LOT



Bungalow Court Landscape

The Bungalow Court Lots provide a unique living opportunity. All Bungalow Courts are organized around a common landscaped lawn bordered by shrubs and perennials and ordered by regularly spaced canopy trees. Design of each court shall provide unique identity and character. Where the Bungalow Court is adjacent to homes by different builders, the Master Developer will be responsible for design and construction of the Bungalow Court common area landscape. Individual lot landscape requirements further articulate each court and encourage neighborhood integration. The Bungalow Court common area will be maintained by a Homeowner's Association.

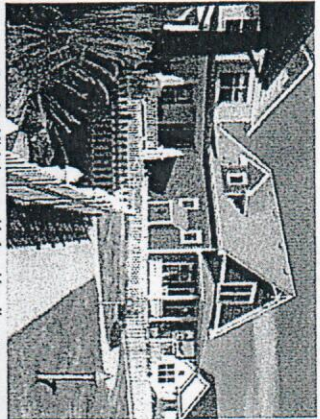
A landscape plan for the Bungalow Court will be provided to each builder owning a lot on the Bungalow Court. It will be the builder's responsibility to create a landscape plan for their respective lot that complies with these Landscape Standards, all directives given in the Bungalow Court landscape plan and to design their landscape to be complementary and transition to the Bungalow Court. Each plan shall be approved by the DRB.

BUNGALOW COURT REQUIREMENTS:

- PICKET FENCE**
 - *Carriacous Or Property Line (as approved by DRB) ... 30" height*
- FRONT YARD**
 - *Tree Per Lot ... 1 ornamental required*
 - *Early Walk ... 5' width min.*
 - *Shrubs ... per front yard requirements*
 - *Groundcover/Perennials ... per front yard requirements*
 - *Lawn ... per front yard requirements*

COMMON COURT REQUIREMENTS:

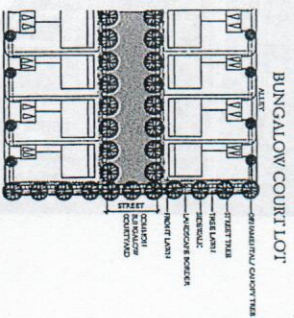
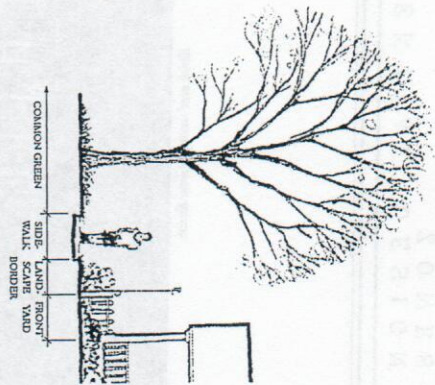
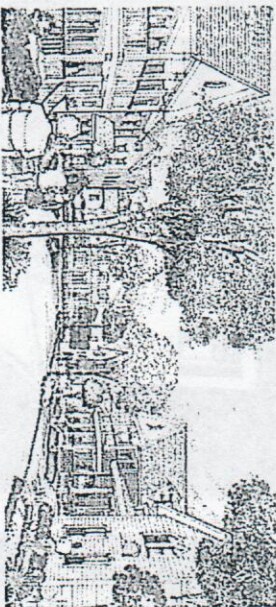
- COMMON GREEN**
 - *Canopy/Ornamental Trees ... 2 per lot, 25' O.C. min.*
 - *Sidewalk ... 5' width min.*
 - *Lawn ... 65% of Common Green min.*
- LANDSCAPE BORDER AT FENCE**
 - *Width ... 2' min.*
 - *Shrubs/ Groundcover/ Perennials ... see required spacing*
- ARBOR**
 - *A landscape arbor or other garden architectural element, if placed at the entrance to the court, provides a focal point and enhances the common green.*



Low level lighting provided at sidewalk entry.



Simple treatment of common space allows for flexible use.



EDAW

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LUBBOCK, TEXAS

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RESIDENTIAL

DESIGN ZONES

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Charleston Side Yard

The Charleston side yards are seen when residential building type occupy one side of a lot leaving a generous side yard for placement of a garden or providing front access to outbuildings behind. When offered windowless houses next to the open yard, side yards are well suited for privacy. This type responds to climactic orientation with a one- or two-story piazza facing the prevailing winds and the sun. Generally, the side of the adjacent house abutting the garden is windowless, or has elevated window seals providing privacy.

Conditions

Front Yard and Alley Zone landscape requirements remain as for other types of residences. Courtyards formed by side yards shall meet requirements of Private Yard Zone. Builders and Owners are encouraged to treat courtyard areas as an "outdoor room" using landscape and landscape materials to create space for outdoor activities.

Design Suggestion

The home will be designed such as to provide a view of the courtyard from all major rooms within the home. By providing a balanced well designed landscaping-the courtyard becomes an extension of the interior of the home making the home feel larger.

On internal lots a maintenance access easement shall be granted to the adjacent Owner for necessary access to the exterior of the building. In the maintenance access easement service gate(s) shall be provided and plant materials shall be limited to small shrubs and groundcover planting that will allow foot and hadder access to the neighboring home.

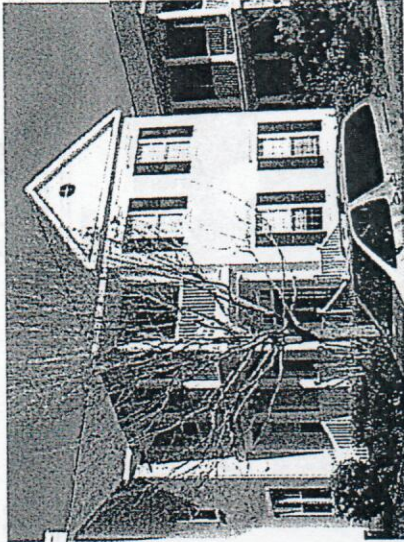
CHARLESTON SIDE YARD REQUIREMENTS:

FENCE

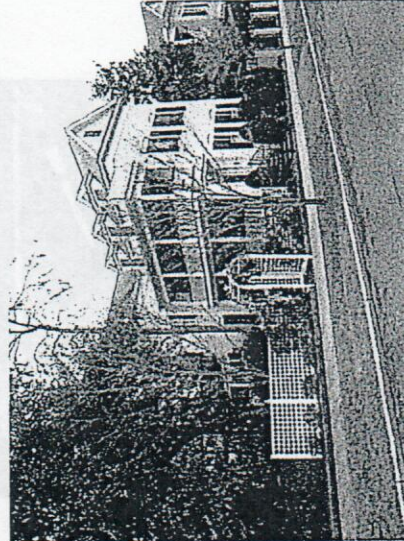
- Semi-transparent, Wood Picket, or Ornamental Iron.
- Setback 2'-0" minimum from sidewalk.
- 5' height maximum.
- Gate access to street permitted.

FRONT YARD

- Comply with front yard requirements at home.



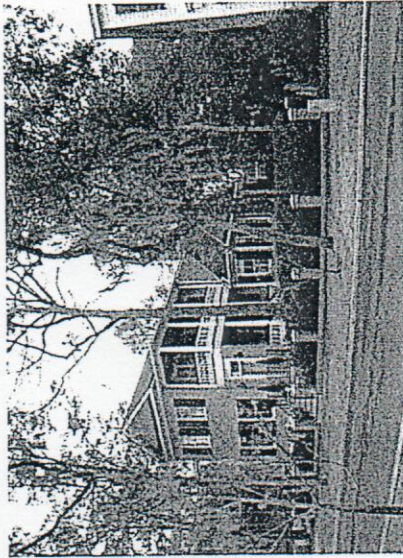
Option with no fence



Arbor helps break up fence



Fence at street is semi-transparent



Brick and wrought iron fence

FENCING AND GARDEN WALLS

Definition

Fences are defined as lower height, semi-transparent edges, made of painted wood, masonry, ornamental iron, or a combination of the above, generally used to enclose front yards. Garden Walls are defined as higher (up to seven (7) feet high) edges, made of natural stained wood, masonry, and/or ornamental steel that often screen undesirable views and/or separate public from private spaces.

Design of Fencing

- Fences and garden walls further define private areas around a residential structure.
- Coordinate the design of the perimeter fence or wall with the architectural design, color, and materials of the house. This design shall be approved by the DRR.
- The design and installation of front yard, side yard, and rear yard fencing, as well as low walls and hedges, must not interfere with AASHTO's stopping sight distance requirements.

Adjacencies

Adjacent fences on the same block shall be of the same height and be complementary in design. The design of such fences shall allow the one "finishe" side to face the adjacent neighbor or have two "finishe" sides.

GARDEN WALLS REQUIREMENTS:

- Garden walls provided along the side and back yards enhance privacy for personal use and enjoyment of the back yard private zone.
- Must Block-Side Fence: 10' back from building front facade perpendicular to side of house
- Center Lot-Side Fence: 20' back from building front facade perpendicular to side of house
- Rear Yard: 5' setback from property line
- Height: 7'0" maximum
- Material: unpainted wood, ornamental iron and/or masonry
- Finish: semi-transparent weathering stain or latex acrylic stain on wood, black ornamental iron or natural materials or stone on masonry
- Privacy fencing must incorporate a gate for Fire Department access from the alley.
- The top 18-24 inches of the fence facing a public street or alley is encouraged to incorporate a change in articulation including a new panel similar to those depicted in the accompanying drawings.



Examples of appropriate front yard fencing



Appropriate privacy fences

FENCE REQUIREMENTS:

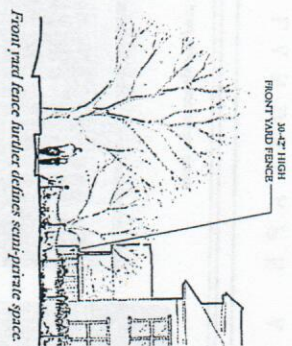
- Front yard fences help define the area between the sidewalk and the front yard. A continuous fence along the property line delineates social realms while maintaining a level of visibility to/from the street.
- Location: on front property line
- Height: 2'6" to 3'6"
- Material: painted wood, ornamental iron, and/or masonry - a minimum of 20% of the fence shall be transparent
- Finish: white painted wood picket, black ornamental iron and natural materials, or stone on masonry.
- The tops of picket fences may incorporate chattering or other articulation.
- Where fences are adjacent to sidewalks they shall not be installed in huggins areas. A narrow mow strip or planting bed is required to avoid mow damage to fence.

TRANSITION FENCE REQUIREMENTS:

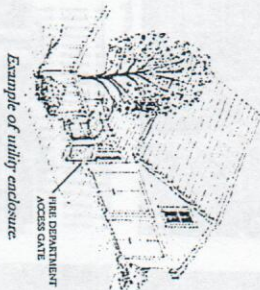
- A transition fence makes a smooth visual connection between the shorter front yard fence and the taller privacy fence. Transition fences are highly encouraged for fencing along a public street.
- Location: along side yard or corner lot where Fence meets Garden Wall.
- Height: 5'0" - 7'0" - match higher wall
- Material: unpainted wood, ornamental iron and/or masonry
- The final design of all fences shall be approved by the DRR.

HANDRAIL REQUIREMENTS:

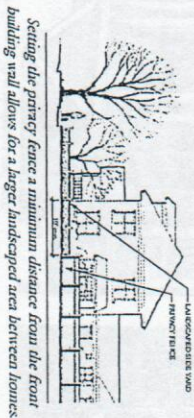
- Where required by code handrails shall be a single tube black painted steel, matching Aluminum with Disabilities Act requirements.
- Decided handrails are not permitted in front yards of single family residences.



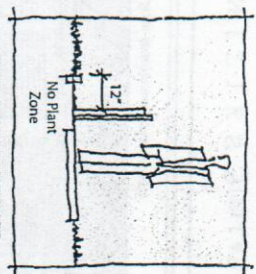
Front yard fence further defines scenic private space



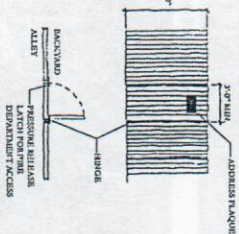
Example of utility enclosure



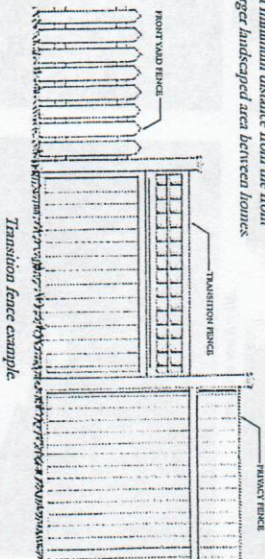
Setting the privacy fence a minimum distance from the front building wall allows for a larger landscaped area between houses



MOWING STRIP AT FENCE
 REQUIRED WHERE FENCING IS ADJACENT TO SIDEWALKS TO AVOID DAMAGE TO FENCE.
 ORGANIC/INORGANIC MULCH WITH EDGING.
 MOW STRIP MAY CONTAIN SHRUBS OR ORNAMENTAL PLANTS.



Fire Department Access Gate
 Required on all privacy fences along residential alleys, subject to fire department approval.

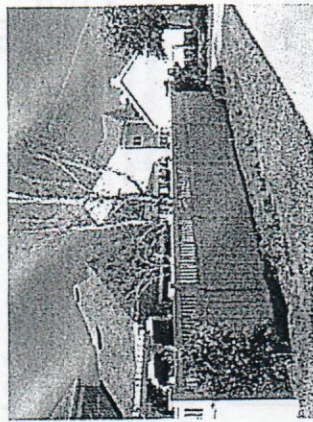


Transition fence example

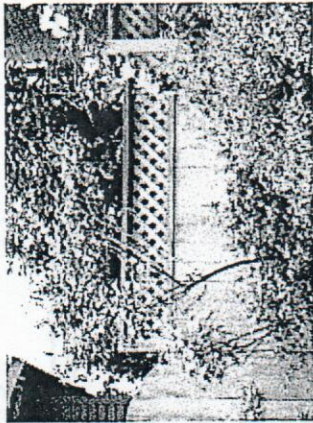
Approved Fencing Examples

FENCE LAYOUT AND INSTALLATION REQUIREMENTS:

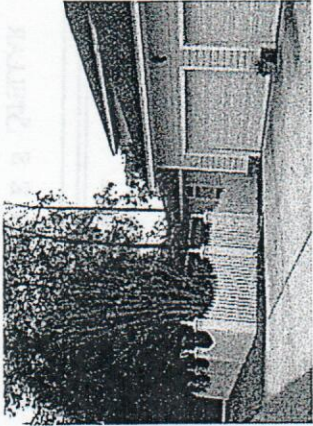
- All fences and garden walls shall be installed with the "good side" facing out when adjacent to a public street or alley. The "good side" shall not expose framing or fasteners that are normally associated with the "back side" of the fence.
- Fences and garden walls shall be placed inside the property line of the owner creating the fence. Adjacent homeowners shall have the right to add a second "good side" to a shared fence created by adjacent owner.



Transition fence along an alley.



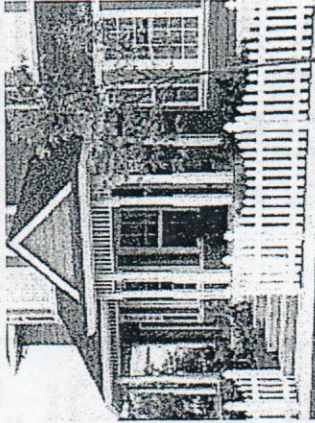
Privacy fence with articulation and gate.



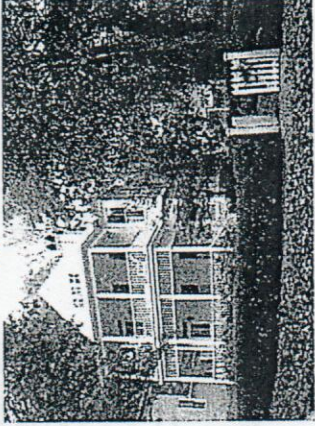
Alley fence with gate.



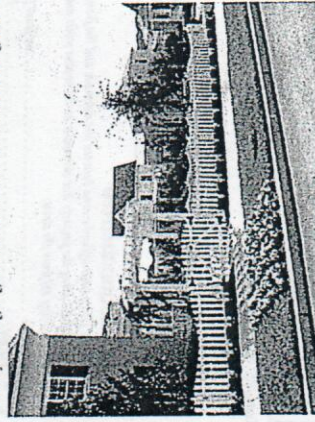
Privacy fencing begins at least 10' from the front building wall.



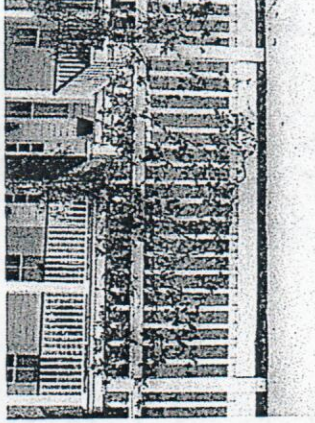
Suitable front yard fence.



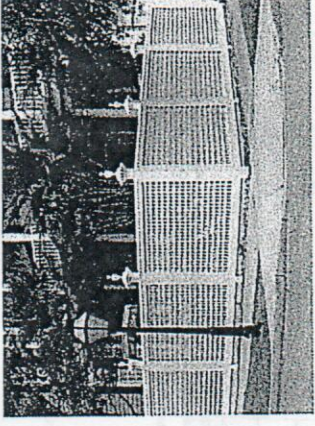
Hedge in lieu of fence.



Fence incorporating architectural entry.

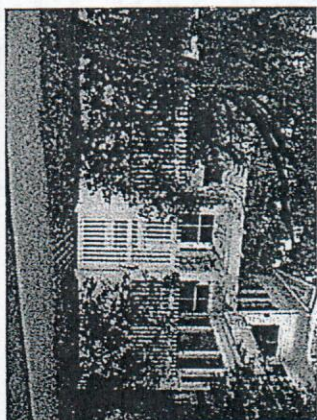
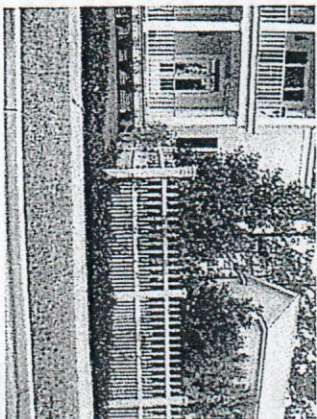
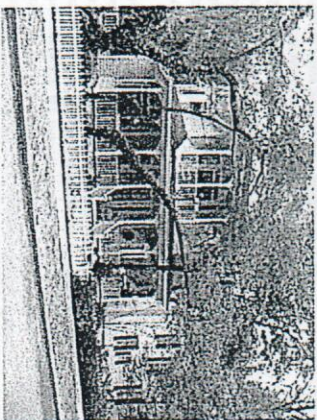
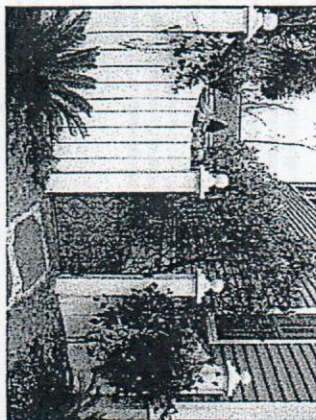
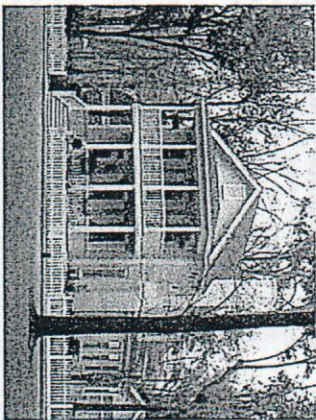
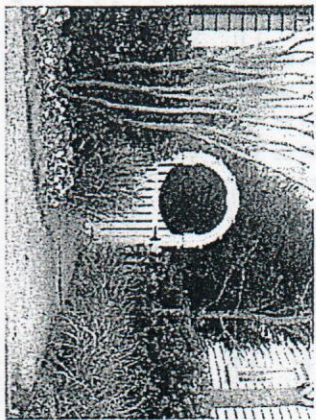
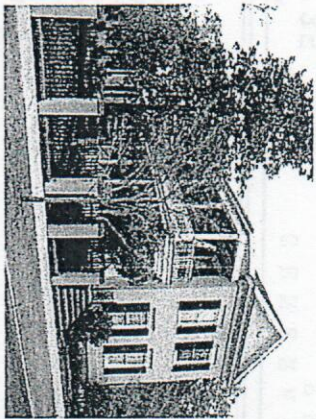
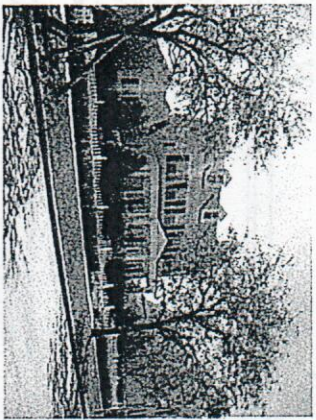


Vegetation used to enhance picket fence.



Semi-transparent privacy fence.

Approved Fencing Examples Continued



EDAW

VINTAGE TOWNSHIP
LUBBOCK, TEXAS

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LANDSCAPE AMENITIES SELLAR

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PLANTING REQUIREMENTS

General

There are generally four areas where landscape materials are required at Vintage Township: on private property, in the public right of way, in neighborhood parks, and in community parks and plazas.

Lubbock, Texas Climate

Vintage Township has a semi-arid climate with a relatively low amount of annual precipitation 17 inches per year (average) and high summer temperatures (frequently over 100 degrees). Lubbock is located in USDA Zone 7b, with an average annual minimum temperature of 0-5 degrees. Soils generally have a high pH (highly alkaline) and a high salt content. City water sources normally used for irrigation also have a high salt content. Another factor that affects plant hardness and longevity are the strong prevailing winds experienced in this area. For these reasons the Approved Plant Palette is limited to locally native and adapted materials as indicated on the list. Plants listed are selected to be appropriate in this zone.

Irrigation Systems

All landscape areas shall be irrigated with an automatic underground irrigation system. Spray-type irrigation is only allowed for turf and small beds of annuals; all other landscape areas shall have drip or surface irrigation. Due to issues of over-spray and staining of walls, no turf or spray-type irrigation is allowed within three (3) feet of a wall or fence which is located on a property line, including rear and side yards. Irrigation system installation and maintenance is the responsibility of the Homeowner. See Irrigation Guidelines.

Plant Varieties and Diversity

While the Approved Plant Palette contains a significant number of acceptable plant species, the best landscapes most often are those that use a limited number of species in appropriate mass planting applications. For example, a well composed landscape plan that uses only six or seven different species in mass plantings with accents will likely be better than a random landscape plan that utilizes twenty different plant species.

Front Yard

The total number of different plant species allowed in the Front Yard Zone is limited to ten (10) species per lot. The total number of different plant species allowed in the Alley Zone is five (5). The combination of shrubs, groundcovers and accent plants shall be at a minimum density of one (1) plant per ten (10) square feet in planting beds. Unless otherwise required, the size of shrubs or groundcovers shall be a minimum one (1) gallon in size at time of installation to satisfy the density criteria. At least seventy percent (70%) of the required shrubs shall be a minimum of five (5) gallon in size at time of installation.

Trees

Street and Canopy Trees
Shady tree-lined streets are an essential element to establishing the type of neighborhood character that Vintage Township provides. Trees add valuable shade, wind break, and aesthetic value to the environment. For that reason strict guidelines are established for the type, size, and location of street trees in the Vintage landscape.

In order to provide a consistent approach that identifies Vintage as a unique community the trees are organized, by type, into intersection types, and mid-block types. These types are indicated in the Street Tree Master Plan.

Alley Trees

Trees in the alleys are an important element to humanizing and providing shade in this environment. Trees in the alleys shall be deep rooted in order to avoid interference with utilities and pavements.

Other Trees

It is important to include evergreen trees in the landscape in order to provide variety and interest, especially during winter months. Color and interest can also be provided by ornamental flowering and multi-trunk trees as well as large specimen type trees. While not permitted in parkway/tree lawns or alleys, the above trees are encouraged in private yards where appropriate and in public parks and boulevards.

Shrubs and Groundcovers

To ensure similar density and coverage of plant material for all lots, the requirements for shrubs, groundcovers, and accent plants are based on the actual area in square feet of landscaped area excluding any sidewalks, driveways, patios, or other hardscape elements. The Front Yard Zone and the Alley Zone are subject to the following minimum size and density requirements.

Perennials, Ornamental Grasses, and Annuals

These materials add color and interest to the landscape and are an essential part of the landscape palette at Vintage Township. The use of perennials, ornamental grasses, and annuals is encouraged in both private and public landscapes.

Turfgrasses

Turfgrasses provide a versatile low maintenance surface material for yards, parkways, and recreational areas. Turf-grasses are categorized as warm season or cool season (see Approved Plant Palette section for types). Varieties of each type are suitable for use at Vintage Township, however in order to maintain a consistent look to the public landscape specific types are identified for use in the Parkway/Tree Lawn, Front Yard, and Alley Zones.

Mulches

Mulches serve several purposes in the landscape: they cover planting beds in order to reduce water loss through evaporation and reduce erosion while providing nutrient to the plants. Acceptable types of mulches include those normally found in Lubbock area landscapes such as shredded soft-wood, or bark nuggets.

When used in a plant bed, mulch should be placed over a porous fabric weed control barrier. Plastic sheeting is not permitted.

Landscape Grading

In general front yards and side yards facing the street shall be graded in simple even planes without berms, mounds, hollows, or swales. A minimum two percent (2%) and maximum five percent (5%) slope from the foundation to the sidewalk is required.

All slopes shall provide for positive storm drainage runoff and sidewalks shall comply with the requirements of the Americans with Disabilities Act.

Hardscapes

Boulders, Rocks, and Cobbles
Boulders, rocks, and cobbles are foreground elements when used in appropriate locations such as private yards and public parks. Since boulders are not part of the traditional neighbor hood vernacular used at Vintage Township, these materials are not acceptable in parkway/tree lawns or front yard landscapes.

Walls and Planters

In general retaining walls and raised planters are not permitted in public rights-of-way or in front yards except as a required part of attached product such as brownstones and townhomes. Where required retaining walls shall be masonry and of a type and style that is consistent with the building architecture. Walls shall generally not exceed 30" in height and be extended to attach to a building structure or garden wall at the end.

Landscape Pavements

Front yard landscapes shall minimize the use of pavement to be consistent with the parkway/tree lawn landscape. Natural gray Portland cement concrete with a light broom finish is the required front yard sidewalk material.

Acceptable materials for private area and public park landscape pavements include broom or sandblast-finished concrete for sidewalks and patios, naturally occurring stone materials such as flagstone, limestone, slate or sandstone, or decomposed granite/crusher fine path material.

Landscape Lighting

Landscape accent lighting is permitted in private yards as long as light trespass or glare does not extend beyond the boundaries of the property.

Landscape Review

The Builder is required to submit landscape plans for each lot to the Design Review Board for approval. Review is intended to verify compliance with the Vintage Township Landscape Standards, the architectural character of the home and the site criteria established in the Urban Regulating Code. The review also provides a record of the approved landscape for the Homeowners Association. A form is provided that provides additional submittal criteria and a worksheet to be submitted with each application for DRB review.

Approved Plant Palette

The Approved Plant Palette is intended to reinforce the unique character of the Vintage Township neighborhoods. Plant material has been selected for their attractiveness, hardiness, regional character, and relatively low water use. Any deviations to the established palettes and themes whether before or after initial home occupancy requires the prior written approval of the DRB.

(see next sheet for Approved Plant Palette)

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VINTAGE TOWNSHIP
LUBBOCK, TEXAS

EDAW

GENERAL LANDSCAPE REQUIREMENTS
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03.23.06

APPROVED LANDSCAPE MATERIALS

MULCHING REQUIREMENTS:

Mulching is required to help newly planted landscape materials retain moisture and establish healthy root systems, reduce weeds, and protect plants from lawn mower damage.

CANOPY AND ORNAMENTAL TREES

Install a mulch ring at the base of each canopy and ornamental tree. At the time of planting, the ring must have at least a 2" radius, measured from the center of the tree trunk. This mulch ring must be of organic material and be a depth of 3-4".

SHRUB AND PERENNIAL BEDS

Place all shrubs and perennial plants in beds mulched with shredded bark. The bark must cover the entire planting bed to a depth of 3-4".

WEED BARRIER

When appropriate, install a continuous weed barrier below the mulch at planting time.

EDGER

At planting time, install a continuous edge between the plant bed and lawn. Acceptable edge materials include steel minimum 1/8" thick and 4" depth, concrete and masonry.

HEDGE REQUIREMENTS:

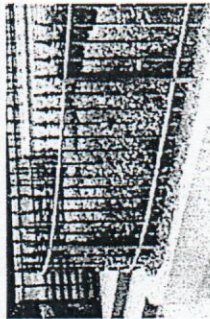
Hedges delineate property boundaries. When used, they must be continuous along the front and side property line along a street.

- Trimmings Height: 36" max.

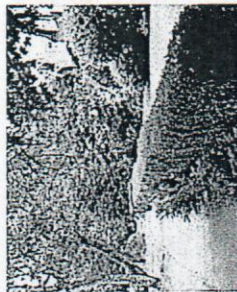
LANDSCAPE WALL REQUIREMENTS:

Walls are used to create privacy and extend architectural elements into the landscape.

- Height: 36" max.
- Material: stone, masonry, or appropriate principal building materials. The final design must be approved by the DRB.



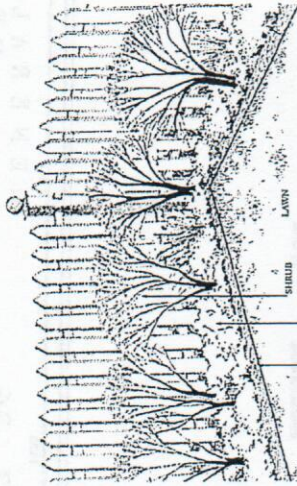
The low wall, fence, and hedge combination clearly defines the public and semi-public realm.



Hedges delineate property boundaries.



Low walls extend architectural elements into the landscape.



A continuous mulch bed ties various plants together and keeps them away from fence.

SEASONAL LANDSCAPE REQUIREMENTS:

Planting schemes for seasonal color, foliage and perennials in Front and Side Yard Zones should blend into the landscape setting.

SOIL REQUIREMENTS:

The compaction of soils at Village Township four earth moving and grading will require specific soil preparation. All landscaped areas shall be prepared with placed topsoil, amended as advised by a soil testing laboratory, and fine graded to provide transition to adjacent areas.

- Tree pits that do not percolate must be under-drained.

IRRIGATION REQUIREMENTS:

- Tree lawns, front yards, and city-landscape must be irrigated. Irrigate these areas to coincide with the identified landscape standards per lot type beginning on page V1-7.
- A properly designed spray irrigation system that provides full coverage must be used on all tree lawn and front yard lawn areas.
- A properly designed traditional drip irrigation or sub-surface irrigation system that provides full coverage must be used for all shrub and groundcover plantings.
- Spray irrigation must not be used within 5' of foundations.

MASSING AND ORDER REQUIREMENTS:
Trees, shrubs, hedges, and groundcover should be massed to define outdoor spaces, reinforce the primary entry, and enhance the house design, the street, and the neighborhood. Massing plants of one species is highly recommended, particularly next to fences or walls. Hedges are a prominent example of massing.



The massing of plants enhances the overall design and character of the neighborhood.