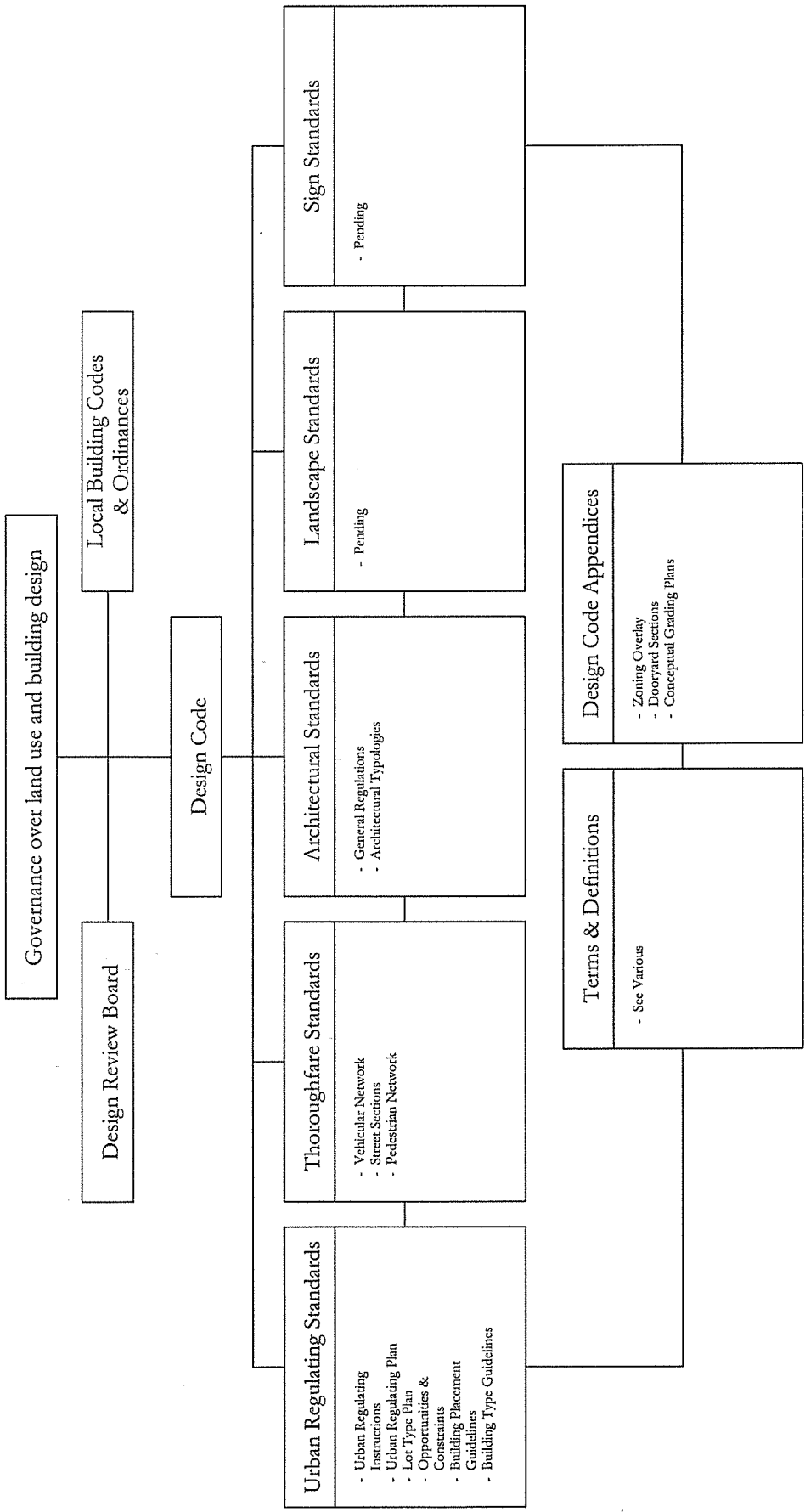


LAND USE & DESIGN GOVERNANCE CHART



VINTAGE TOWNSHIP PRINCIPLES

THE CHARTER OF NEW URBANISM (Congress of New Urbanism)

The Congress for the New Urbanism views disinvestment in central cities, the spread of placeless sprawl, increasing separation by race and income, environmental deterioration, loss of agricultural lands and wilderness, and the erosion of society's built heritage as one interrelated community building challenge.

We stand for the restoration of existing urban centers and towns within coherent metropolitan regions, the reconfiguration of sprawling suburbs into communities of real neighborhoods and diverse districts, the conservation of natural environments, and the preservation of our built legacy.

We recognize that physical solutions by themselves will not solve social and economic problems, but neither can economic vitality, community stability, and environmental health be sustained without a coherent and supportive physical framework.

We advocate the restructuring of public policy and development practices to support the following principles: neighborhoods should be diverse in use and population; communities should be designed for the pedestrian and transit as well as the car; cities and towns should be shaped by physically defined and universally accessible public spaces and community institutions; urban places should be framed by architecture and landscape design that celebrate local history, climate, ecology, and building practice.

We represent a broad based citizenry, composed of public and private sector leaders, community activists, and multi-disciplinary professionals. We are committed to reestablishing the relationship between the art of building and the making of community through citizen based participatory planning and design.

We dedicate ourselves to reclaiming our homes, blocks, streets, parks, neighborhoods, districts, towns, cities, regions, and environment.

We assert the following principles to guide public policy, development practices, urban planning, and design:

The Neighborhood, District, and Corridor

1. The neighborhood, the district, and the corridor are the essential elements of development and redevelopment in the metropolis. They form identifiable areas that encourage citizens to take responsibility for their maintenance and evolution.

2. Neighborhoods should be compact, pedestrian friendly, and mixed-use. Districts generally emphasize a special single use, and should follow the principles of neighborhood design when possible. Corridors are regional connectors of neighborhoods and districts; they range from boulevards and rail lines to rivers and parkways.

3. Many activities of daily living should occur within walking distance, allowing independence to those who do not drive, especially the elderly and the young. Interconnected networks of streets should be designed to encourage walking, reduce the number and length of automobile trips, and conserve energy.

4. Within neighborhoods, a broad range of housing types and price levels can bring people of diverse ages, races, and incomes into daily interaction, strengthening the personal and civic bonds essential to an authentic community.

5. Transit corridors, when properly planned and coordinated, can help organize metropolitan structure and revitalize urban centers. In contrast, highway corridors should not displace investment from existing centers.

6. Appropriate building densities and land uses should be within walking distance of transit stops, permitting public transit to become a viable alternative to the automobile.

7. Concentrations of civic, institutional, and commercial activity should be embedded in neighborhoods and districts, not isolated in remote, single-use complexes. Schools should be sized and located to enable children to walk or bicycle to them.

8. The economic health and harmonious evolution of neighborhoods, districts, and corridors can be improved through graphic urban design codes that serve as predictable guides for change.

9. A range of parks, from tot lots and village greens to ball fields and community gardens, should be distributed within neighborhoods. Conservation areas and open lands should be used to define and connect different neighborhoods and districts.

The Block, Street, and Building

1. A primary task of all urban architecture and landscape design is the physical definition of streets and public spaces as places of shared use.

2. Individual architectural projects should be seamlessly linked to their surroundings. This issue transcends style.

3. The revitalization of urban places depends on safety and security. The design of streets and buildings should reinforce safe environments, but not at the expense of accessibility and openness.

4. In a contemporary metropolis, development must adequately accommodate automobiles. It should do so in ways that respect the pedestrian and the form of public space.

5. Streets and squares should be safe, comfortable, and interesting to the pedestrian. Properly configured, they encourage walking and enable neighbors to know each other and protect their communities.

6. Architecture and landscape design should grow from local climate, topography, history, and building practice.

7. Civic buildings and public gathering places require important sites to reinforce community identity and the culture of democracy. They deserve distinctive form, because their role is different from that of other buildings and places that constitute the fabric of the city.

8. All buildings should provide their inhabitants with a clear sense of location, weather, and time. Natural methods of heating and cooling can be more resource efficient than mechanical systems.

9. Preservation and renewal of historic buildings, districts, and landscapes affirm the continuity and evolution of urban society.

TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND)

A Traditional Neighborhood Development (TND) is a comprehensive planning system based on traditional town planning and community building principles. Its central focus is on the creation of a true sense of place which is unique and special as well as the establishment of a walkable environment. Such planning integrates various land uses such as residential, commercial, civic and open uses, all within walking distances of one another.

Residential land uses offer a wide variety of housing in both size and style which appeals to a wide range of homeowners. Homes comply with a strict design code insuring the congruence of various architectural styles. Homes often have front porches for enhancing interaction with neighbors and the community and typically have rear entry garages. The design code results in homes having higher levels of architectural detail and character.

Commercial uses such as retail, restaurant, entertainment and office are located in a town center and in mixed-use buildings. Such buildings often have commercial uses on the first floor with housing on the floors above. A central plaza or square often is used for public events and activities. The town center is within walking distance of all homes in the neighborhood.

Civic uses such as libraries, schools, and churches are integrated into the fabric of the neighborhood and reflect the community's culture and enhance its social fabric.

Open space is threaded throughout the neighborhood and represented in various forms such as large parks, pocket parks, greens, preserves, etc. Open space allows the community to experience the outdoors, interact with one another and engage in recreation. Ideally, a park is located within a 3 minute walk of every home.

Buildings and the spaces in between them are given equal importance in the community's design. The built environment is planned such that a human scale (a comfortable scale) is achieved. Buildings sit closer to streets and one another. Streets are narrower and on-street parking is encouraged with the specific goal of slowing traffic. All streets are lined with trees. Sidewalks are wide and separated from the street by planted strips. Open space is defined and articulated in ways that feel safe and inviting. Such designs enhance pedestrian walkability.

The Traditional Neighborhood Development seeks to design and create a neighborhood which promotes community and is socially and economically viable for many generations.

DEVELOPMENT TEAM CORE VALUES

Development Team Mission:

To create a nationally recognized, award winning, traditional neighborhood.

Development Team Core Values:

- Design Character:** Uniqueness and Quality of Planning and Design creating a special sense of place
- Diversity:** Provide a rich variety of choice to appeal to a wide range of people
- Affordability:** Be attuned to market constraints and customer needs
- Profit:** Development project be financially successful / economically viable
- Partnership:** Utilize shared resources - to think unconventionally - to create synergy
- Excellence:** Be "Best in Class" - to receive national recognition
- Legacy:** Be sustainable for generations, be an example for future development

THE MASTER PLAN

The Master Plan for Vintage Township seeks to define the community by means of strategies, drawings, and covenants. The Master Plan is the framework from which all growth shall be defined and nurtured. The purpose for such documents is to ensure that the original intent of the community is maintained throughout its construction thereby stabilizing the historical integrity and functional continuity of the town.

TERMS AND DEFINITIONS - VINTAGE TOWNSHIP

As used in this Design Code, any capitalized terms not defined below shall have the meanings indicated in the Declaration of VINTAGE TOWNSHIP, such definitions being incorporated herein and made a part hereof. In addition, the following terms shall have the meanings indicated below:

The Traditional Neighborhood Development (TND)

- 1) The traditional neighborhood shares the following conventions:
 - a) The neighborhood is physically understood and limited in scale.
 - b) Residences, shops, workplaces and civic buildings are located in the neighborhood all in close proximity.
 - c) A hierarchy of streets serve the needs of the pedestrians and the automobile equitably.
 - d) Physically defined squares and parks provide places for formal social activity and recreation.
 - e) Private buildings on a clear edge delineates the public space and the block interior.
 - f) Civic buildings and squares reinforce the elements of the neighborhood becoming symbolic of community identity and providing places of purposeful assembly for social, cultural, and religious activities.
- 2) Traditional neighborhoods promote social objectives.
 - a) By bringing within walking distances most of the activities of daily living, including dwelling, shopping and working, the elderly and the young gain independence of movement.
 - b) By reducing the number and length of automotive trips, traffic congestion is minimized and road construction is limited. By organizing appropriate building densities public transit becomes a viable alternative to the automobile.
 - c) By providing defined public spaces such as streets and squares, citizens come to know each other and to watch over their collective security.

- d) By providing a full range of housing types and work places, age and economic class are integrated and the bonds of an authentic community are formed.
- e) By providing suitable civic buildings, democratic initiatives are encouraged and the balanced evolution of society is secured.

Special Definitions

* Important: Read these definitions before an attempt is made to apply this code.

Alley: A traditional, walkable thoroughfare serving the pedestrian mobility and access needs at the rear of residential units in other than the town center. Other functions include trash removal and utility service. Utilities are usually placed in lanes. Drainage runs to swales with grass areas at the edges of the travel way. Pavement is generally 9 to 10 feet wide with two way "yield street" traffic flow at 15 mph. Windows facing the lane help maintain security. Garage apartments can help provide this added security. (H1PE)

Alley Zone: The Alley Zone includes the areas between the alley pavement and the rear garden wall or other structure. Part of the Alley Zone is in the public right-of-way and the rest is on the Private Lot. Landscape improvements in the Alley Zone are an important part of the community and are subject to the requirements of the Landscape Code. Maintenance of landscaping in the Alley Zone is the responsibility of the adjacent Homeowner.

Apartments: A dwelling not coinciding with an individual lot such that the lot is shared with other apartments and/or another use category.

Auxiliary Structure: Buildings used for uses other than housing, i.e. greenhouses, garden structures, sheds, etc. The architectural character including colors, details, and materials shall match that of the principle structure.

Back yard: (Private Yard) The area(s) that are at the back of a building, normally separated by building and/or garden wall from the street and alley. These areas are generally landscaped for the enjoyment of the individual landowner and as such, when garden walls are present, are not subject to all of the requirements imposed on the more public landscapes in the community. (Landscape Code)

Balustrade: An entire railing system along the edge of a balcony, including a top rail and its balusters and sometimes a bottom rail.

Bay Window: A recess or opening in a wall, or an extension of a building wing.

Bay: A part of a structure as a building that is marked off by vertical elements.

Bikeways: Thoroughfares dedicated specifically to, or available for, bicycle use. The general network of thoroughfares, if correctly dimensioned, is generally usable by cyclists sharing lanes with motor vehicles moving slowly. Specialized accommodation is required only where the speed of traffic precludes sharing. (Duany Plater-Zyberk & Company, F2)

Block: The aggregate of lots and allies circumscribed by public use tracks, generally streets.

Boulevard/Avenue: A principal traditional thoroughfare designed to encourage pedestrian mobility and connecting centers within communities. Avenues and boulevards generally serve multiple land uses and have center medians, street trees, sidewalks and parallel parking. Buildings are near the sidewalk to optimize pedestrian access and mobility. Auto mobility is secondary. (H1PE)

Building Cover: The horizontal land area occupied by a building at finished grade, excluding open porches, loggia, projections, and overhangs of less than two feet.

Bungalow Court: A semipublic landscaped area between front yard lot lines for homes that face one another without a street or alley between them. Bungalow courts provide access via sidewalks to the front of homes that do not front on a street.

BTL: Built-to-line.

Carport: An open air structure with a weatherproof roof to shelter automobile no more than one story in height.

Chamfered: A right angle corner cut symmetrically at forty-five degrees.

Charleston Side Yard: This is a residential building type that occupies one side of a lot leaving a generous side yard for placement of a garden or providing front access to outbuildings behind. This house type responds to climatic orientation with a one- or two- story porch oriented with respect to prevailing winds and sun. The landscape treatment of side yard area should reflect the importance of the interior-exterior relationship.

Civic Building Reservation: The systematic reservation of sites for civic buildings. Civic sites should be associated with honored locations at plazas or squares, or at the termination of vistas. (Duany Plater-Zyberk & Company, M4.4)

TERMS AND DEFINITIONS - VINTAGE TOWNSHIP

Civic Uses: Premises used by organizations considered to support the common good and therefore accorded special treatment within traditional neighborhood developments. Civic Uses include educational, cultural, social, service, and religious not-for-profit organizations. (Duany Plater-Zyberk & Company, M4.4)

Cladding: Exterior surface material of a building.

Clapboard Siding: A siding commonly used as an exterior covering on a building of frame construction applied horizontally and overlapped with the grain running lengthwise, thicker along the lower edge than along the upper edge.

Classical Proportions: A series of ratios developed over the course of centuries and believed to result in pleasing proportions for buildings and building elements. Based on Greek and Roman principles, various systems for classical proportions were developed and modified through the centuries. In the United States, there are a number of publications with these principles including *The American Vitruvius*.

Classical Orders: The design of systems of columns and cornices derived from Ancient Roman and Greek precedents defined by the trivials and modified by the ages by Italian, French, and English Architects. This system of columns controls the dimensions of the cornices they carry. Columns within VINTAGE TOWNSHIP are based upon Claude Perrault's ordinance of the five types of columns are Tuscan, Doric, Ionic, Corinthian and Composite.

Colonnade: A roofed structure supported by columns.

Commercial Street: Appropriate for commercial buildings at Center and Core Zones. Trees are confined by individual planters, creating a sidewalk of maximum width, with areas accommodating street furniture. (Duany Plater-Zyberk & Company, G1.2)

Commercial Use: A general category of building use which includes office, retail, and manufacturing uses but excludes residential, lodging, and civic. (Duany Plater-Zyberk & Company, M4.4)

Corinthian: Designating the most ornate of the three classical orders of Architecture marked by a slender fluted column having an ornate bell shaped capital decorated with acanthus leaves.

Corner Lot: A lot situated at the juncture of two or more streets.

Cornice: An ornamental molding at the meeting of the roof and wall, usually consist of bed molding, soffit fascia and crown molding.

Cottage House: A relatively small single family detached house on a small lot, usually with rear loaded parking. Cottage houses can be grouped, facing a news, small common or green in a court. A cottage court is often, but not always, arranged in a U-shape. Units are separated from the common area only by a sidewalk, path or non-vehicular way. Parking is from rear lanes, alleys or in a common, rear loaded lot. (Zimmerman/Volk Associates, Inc.)

Courtyard: an open space surrounded by walls and buildings measured 12'-0" at its minimum depth.

Courtyard Apartment Building: A pedestrian oriented equivalent to conventional garden apartments either for rent or for sale. A courtyard building is three or more stories, and can be combined with nonresidential uses on the ground floor. The building can be configured in a U-shape or open square, with parking integral to the building, below grade, or in an open lot to the rear. The courtyard apartment building has a relatively shallow setback from the street; in town center or urban locations, the structure is built to the sidewalk edge and, to provide privacy and a sense of security, the first living floor is elevated significantly above grade. (Zimmerman/Volk Associates, Inc.)

Curb Radius: The curved edge of the street at an intersection measured at the inner edge of the outer most curb.

Deck: Any wooden platform without a solid roof structure.

Dentil: One of a series of small rectangular blocks forming an architectural molding or projecting beneath a cornice.

Doric: The column and entablature developed by the Dorian Greeks. Sturdy in proportion with a simple cushion capital.

Dormers: A structure projecting from a sloping roof usually housing a window or ventilating louver.

Drive: A special traditional thoroughfare serving pedestrian mobility, similar to a Street, with developed, urban character on one side and natural area on the other (such as a Plaza, wetland or wooded area). Auto mobility is secondary. (HPB)

Driveway: A vehicular access way within a private lot connecting a garage to a thoroughfare. (Duany Plater-Zyberk & Company, Fig.1)

DRB: Design Review Board.

Eaves: The lowest overhanging part of sloping roof.

Edge House: A large single family detached house designed for an edge or boulevard condition, often with front loaded parking. As with the neighborhood houses, the garage, attached or detached, is set well back from the front façade. (Zimmerman/Volk Associates, Inc.)

Facade: The front most component of a facade which includes porches, galleries, arcades, etc. used to establish the edge of a setback parallel to a frontage line.

Fascia: The wall of a building parallel to and corresponding to a frontage line.

Fence: A semi-transparent property edging, 2'-0" to 3'-6" high, made of painted wood, ornamental iron, masonry, a combination of the above, or a hedge generally used to separate the front yard (semi-public) from sidewalk (public) area.

Footprint: The total area of structure as measured at the ground level. When enclosed space is located above a porch or cantilevered out from the lower floor, the footprint of heated and cooled space shall include the enclosed space on the upper level.

Freeze: A plain or decorated horizontal part of an entablature between the architrave and cornice.

Frontage Line: (Right-Of-Way, syn.) The lot line which coincides with the street track.

Front Yard: The area between the property line and the front of the house, including the areas on each side back to the garden wall. On corner lots with a side yard that faces the street, the side yard area between the property line and the side of the house and/or garden wall or fence, shall be defined as Front Yard for the purpose of landscape treatments. Front yards, while privately owned and maintained are an important part of the community character and, as such, are strictly regulated by the landscape code.

Gable: The vertical triangular portion of the end of a building, having a double sloping roof from the level of the cornice or eaves to the ridge of the roof.

Garage: An enclosed structure to shelter automobile.

Garden Structure: Pavilions, gazebos, harbors, pergolas, and other similar structures no more than one story in height.

Garden Wall: An opaque fence or wall not exceeding seven feet in height, made of natural stained wood, masonry, stucco, and/or ornamental steel, or a combination of the above, generally used to separate sideyards or a back yard (private) from the street or alley (public) area.

Green: A medium sized public space available for unstructured recreation, circumscribed by building fences, its landscape consisting of grassy areas and trees, naturalistically disposed and requiring only limited maintenance. Green could include any amenities that support recreational use intended. (Duany Plater-Zyberk & Company, E1)

Hipped Roof: A roof which slopes upward from all four sides of a building requiring a hip rafter at each corner.

Ionic: The classical order of Architecture designated by the Ionic Greeks, characterized by its capital with large volutes. Fasciated, entablature, continuous freeze usually dentils in the cornice and by its elegant detailing, less heavy than Doric.

Light: An aperture through which daylight is admitted into the interior of a building. A pane of glass, a window, or compartment of a window.

Live Work Unit: A rear yard, fully mixed-use building type with one dwelling above or behind a commercial space. (Duany Plater-Zyberk & Company, J2)

TERMS AND DEFINITIONS - VINTAGE TOWNSHIP

- Loggia:** A roofed but open gallery or arcade along the front or side of a building often at an upper level.
- Lot:** A separately platted portion of land containing a use held privately.
- Lot Line:** The boundaries that legally and geometrically demarcate the edges of parcels held in private ownership and intended primarily for the construction of buildings. (Duany Plater-Zyberk & Company, H2.2)
- Lot Width:** The dimension of the frontage line (the lot boundary that coincides with the principal fronting thoroughfare). (Duany Plater-Zyberk & Company, H2.2)
- Main Body:** The largest part of the front fascia. It includes the front door of the house.
- Main Street:** A traditional, pedestrian serving thoroughfare with features that encourage pedestrian movement, serving a compact mix of land uses, potentially including retail, office and residential. Main Streets have parallel parking on both sides and, where the uses are more compact and activity is more intense, angle (or diagonal) parking is specified. Buildings front the sidewalk to optimize pedestrian access to commercial establishments. Motor vehicle mobility is important, but subordinate to pedestrian mobility. (HPE)
- Mansion Apartment Building:** A small scale, two- or three-story apartment building, often with a street façade resembling a large detached house. Shall have no more than 8 units per building. (Zimmerman/Volk Associates, Inc.)
- Meeting Hall:** A building equipped by design for public assembly.
- Multifamily Residential:** Any dwelling structure consisting of more than one dwelling unit.
- Muntin:** A secondary framing member to hold panes with window, window wall, or glazed door.
- Natural Area:** Waterways, wetlands, and nature preserves to be preserved and perpetuated.
- Neighborhood House:** A two story, single family detached house relatively close to the street with attached, detached, or open parking; whether rear loaded or not set well back from the façade. (Zimmerman/Volk Associates, Inc.)
- Neighborhood Proper:** The built-up area of a TND including blocks, streets, squares, and parks.
- Ogee Gutters:** A double curve formed by a union of a convex and concave line resembling an S-shape.

- Open Space:** Area free of buildings that, together with a well designed system of thoroughfares, provides a public realm at all scales of urbanism, from the region to the block. (Duany Plater-Zyberk & Company, E1)
- Out Looker:** A member which projects and supports that part of the roof construction beyond the face of gable.
- Our Building:** A separate or attached building additional to the principal building, adjacent with the rear lot line of a maximum of two stories, and having a maximum building footprint of 800 square feet (s.f.). The architectural character shall match that of the principle structure.
- Overhead Connector:** A walk, deck, or similar structure that connects the house with an outbuilding or garden structure at any level other than the first floor.
- Park:** An outdoor public tract naturally landscaped, not more than ten percent paved and surrounded by the frontage line of lots on at least fifty percent of its perimeter. Parks may contain wetlands and could include any amenities that support recreational use intended.
- Parkway (Tree Lawn):** The area between the property line and back of street curb along all streets, this zone is typically located in public right-of-way and is not part of the lot. This area generally consists of regularly spaced canopy-type street trees, sodded lawn, street lighting, signage, nomenclature and utilities where required. These provide a consistent edge treatment, shade and enhancement for the public streets in the community. Maintenance of the Parkway/Tree Lawn Zone shall be the responsibility of the adjacent landowner, except as otherwise determined by the Developer.
- Patio:** A hard surfaced area without a solid roof structure.
- Pediment:** A wide, low pitched gable surrounding the fascia of Grecian styled building.
- Pergola:** An open air garden structure with a trellis roof.
- Porch, Gallery, Veranda:** A covered outdoor area attached to a house.
- Portal:** A large and imposing doorway entrance or gate.
- Portico:** A walkway or porch with a roof supported by columns, often at the entrance of a building.
- Preserve:** A designation applied to areas intended to never be urbanized.
- Primary Residence:** The primary dwelling structure on a lot.
- Privacy Fence:** See Garden Wall.
- Private:** That which is neither public nor civic.
- Private Yard:** See definition of Back Yard. (Landscape Code)
- Reserve:** A designation applied to areas intended for temporary preservation until release for urbanization. A release is the process of redesignating reserved land for urbanization according to established criteria.
- Setback:** The placement of a building or structure from property line to exterior of wall. Roofs are permitted to overhang setback by 24" at all setbacks including a "0" lot line.
- Shared Parking:** Where day, night, or weekday/holiday schedules allow for the use of parking spaces by more than one user such as with meeting halls, religious buildings, and dwelling retail combinations.
- Side Yard Setback:** The minimum distance from the side property line adjacent to another lot or public right-of-way to any part of the house or ancillary structure.
- Single Family Dwelling:** A dwelling consisting of one dwelling unit.
- Square:** An outdoor public tract spaciously defined by its surrounding buildings as a room that is defined by its walls, and adjacent to streets on at least two sides. Squares shall be partially paved and surrounded by shop front use or row house use lots on at least sixty percent of its perimeter. One third of the sixty percent may be substituted by a natural special border such as a water front for at least one side. Commercial uses shall be permitted on all of the surrounding lots.
- Stairs:** are for the purpose of accessing floors or levels beyond the first floor.
- Stoops/Steps:** are for the purpose of accessing the first floor or level.
- Story:** A habitant level within a building no more than fourteen feet in height from finished floor to finished ceiling.
- Street:** A general, traditional thoroughfare serving pedestrian mobility, with two or four travel lanes and parking generally on one or two sides. Motor vehicle mobility is vital, but subordinate to pedestrian mobility. In low volume areas requiring very distinct speed control, yield streets are specified where two opposing vehicles meeting would require one to slow and pull aside. Green Streets have added separation via wider planting strips. (HPE)
- Street Edge:** A masking structure stretching along the frontage line or coplanar with the facade, designed to remedy a gap of spatial definition or to mask parking. A street edge shall consist of one or a combination of the following: a solid masonry wall, matching the finish of the principal structure; a fence not less than 50% opaque; or a dense hedge (Duany Plater-Zyberk & Company)

TERMS AND DEFINITIONS - VINTAGE TOWNSHIP

Street Lamps: A light standard between eight and fourteen feet in height equipped with an incandescent or metal halide light source.

Street Vista: The view framed by buildings at the termination of the axis of a street.

Street Wall: A masonry or wood wall no less than seventy-five percent opaque built along the frontage line and between seven and fourteen feet in height. Any opening must be gated. The percent opaqueness shall be calculated including all openings.

Terrace: An upper level outdoor living area without a solid roof.

Through Street: Through streets may provide primary access to and/or border but not pass through a neighborhood proper. In the event through streets border or pass through a neighborhood proper, there shall be between the frontage line and the street lines a sidewalk of not less than six feet, at least one lane of parking, at least one ten foot travel lane and a planted area with trees planted no further than fifty feet apart. Through streets will generally be constructed in accordance with the existing City of Lubbock road and street regulations as supplemented by the Vintage Township street plat.

Tower: A small room, porch, or deck which protrude from the maximum height allowed for a residence.

Townhouse: A residential dwelling attached to a similar dwelling.

Tract: A separately platted portion of land containing a use held in common.

Transom: A small hinged window above another window or door. The horizontal cross piece to which such a window is hinged.

Tree (Shade): A deciduous tree of wide canopy resistant to root pressure of proven viability in the region no less than four inch caliper and eight foot vertical clear trunk at the time of planting.

Tree (Street): A deciduous tree resistant to root pressure of proven viability in the region no less than four inch caliper and eight foot vertical clear trunk at the time of planting.

Tree Lawn: See definition of Parkway.

Utility Alcove: A utility niche located on lots, intended for use by public utilities (see plat).

Village Center: The dense multifunctional social condenser of a neighborhood. It is usually at a central location, within walking distance of the surrounding, primarily residential areas. (Duany Plater-Zyberk & Company, C3.2)

Village Edges: The least dense, most purely residential sector of the neighborhood. The size varies in proportion depending on whether the model is more rural (village-like) or more urban (town-like). (Duany Plater-Zyberk & Company, C3.2)

Village General: The sector that is mixed in function, but principally residential. It has a generalized character, and is usually the largest area of the neighborhood. (Duany Plater-Zyberk & Company, C3.2)

Village House: A one and a half or two-story single family detached house on a small lot, often with rear loaded parking. Parking must be rear loaded on lots narrower than 50 feet. (Zimmerman/Volk Associates, Inc.)

DESIGN VISION

"Where there is no vision, the people perish" - Proverbs 29:18

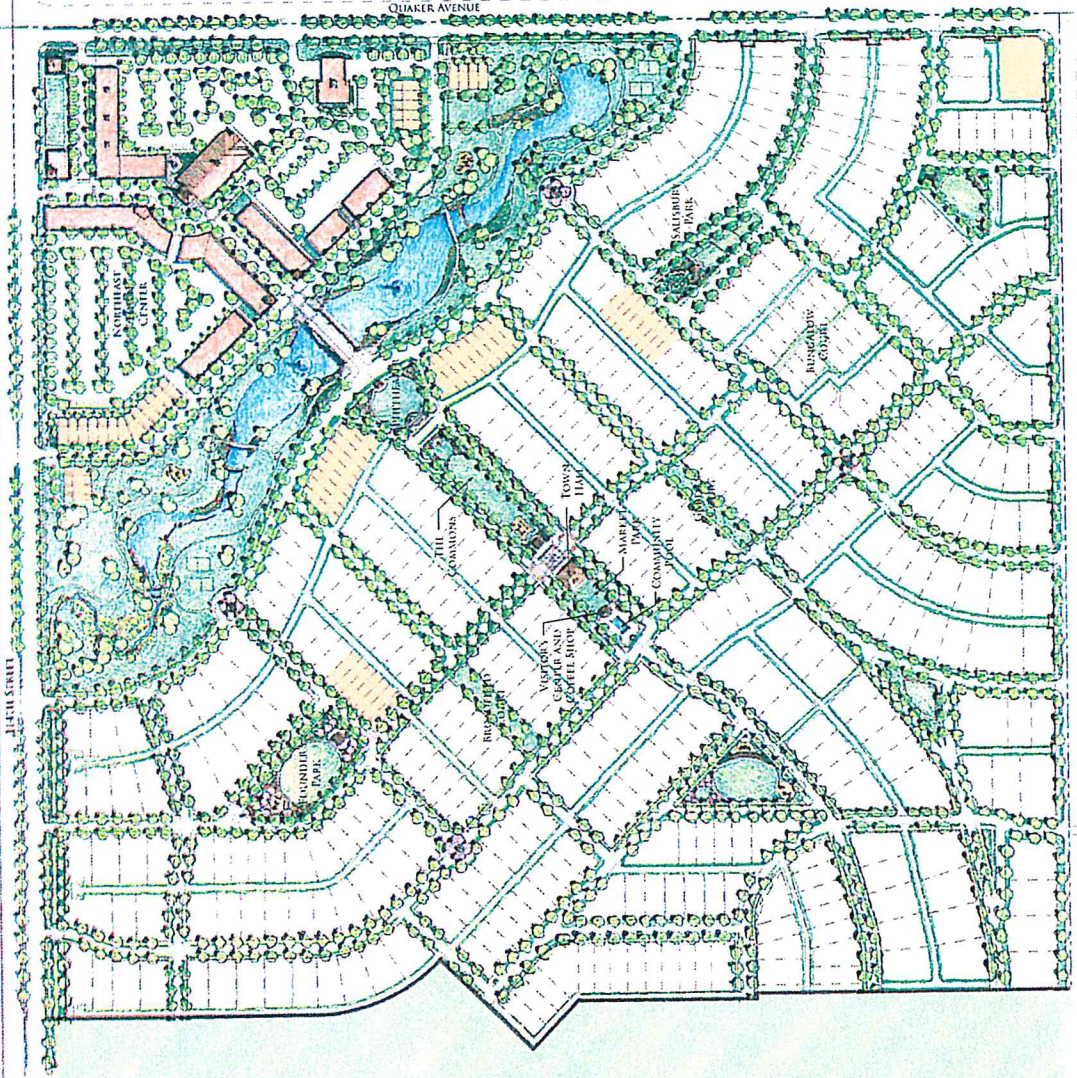


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LUBBOCK, TEXAS

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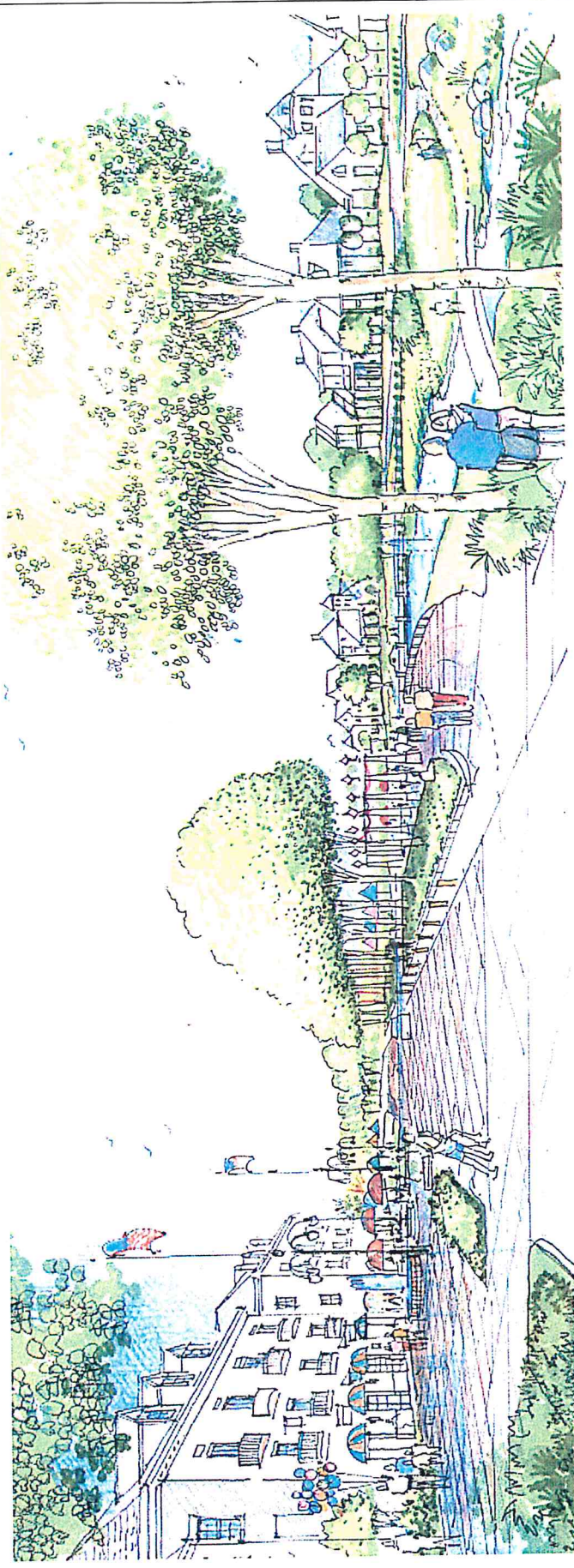
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VINTAGE TOWNSHIP



These concepts are intended to convey the strategies of land development for Village Township. Changes can and will be proposed and made at anytime by the Town Founder without approval and without cause.



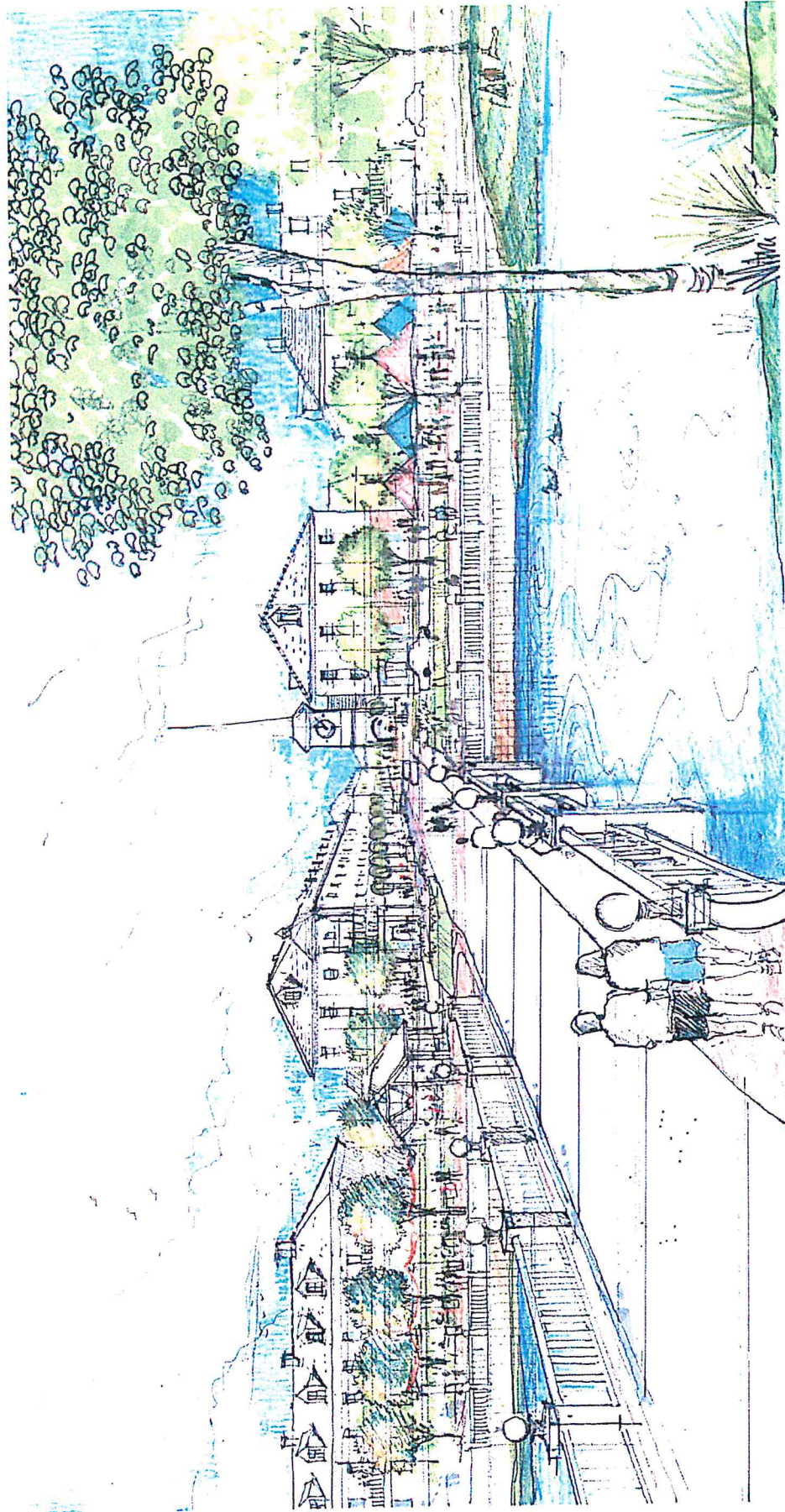
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LUBBOCK, TEXAS

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NORTHEAST TOWN CENTER
AND THE MEADOW STELLAR

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These concepts are included to convey the strategies of land development for Vintage Township. Changes can and will be promulgated to accommodate the Town Founder's desires. These changes can be made at anytime by the Town Founder without approval and without cause.



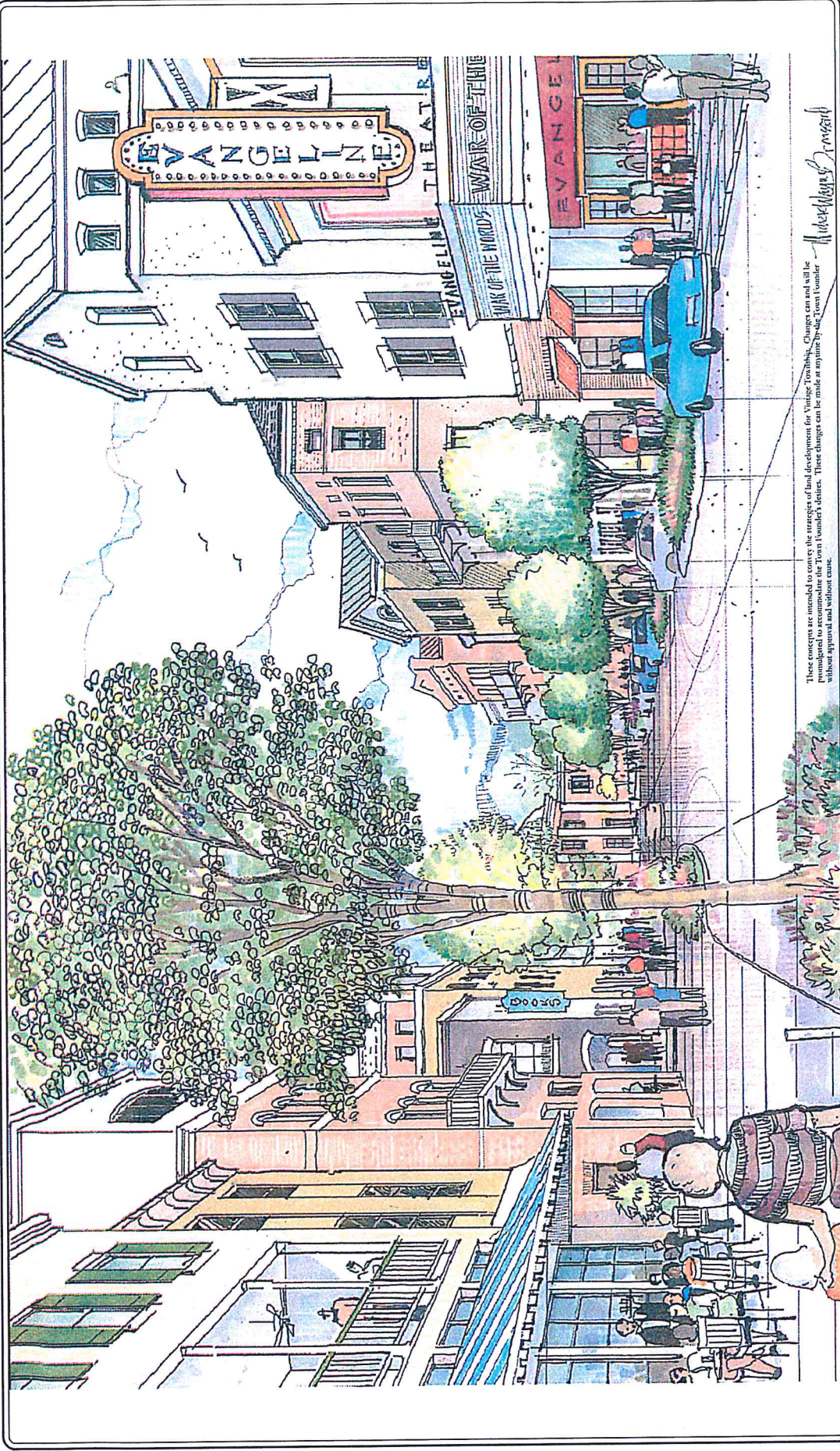
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These concepts are intended to convey the strategies of land development for Vintage Township. Changes can and will be promulgated to accommodate the Town's founder's desires. These changes can be made at any time by the Town's founder without approval and without cause.

Michael J. Stewart



These concepts are intended to convey the program of the development for Vintage Township. Changes can and will be promulgated to accommodate the Town Board's desires. These changes can be made at anytime by the Town Board without approval and without cause.



These concepts are provided to you as a conceptual illustration of a possible development for Vintage Township. They are not intended to be used to immediately identify the Town Founder's identity. These changes can be made at any time by the Town Founder without approval and without cause.

Michael J. Howard



These concepts are intended to convey the strategies of land development for Vintage Township. Changes can and will be promulgated to accommodate the Town Founder's desires. These changes can be made at anytime by the Town Founder without approval and without cost.

02.01.06

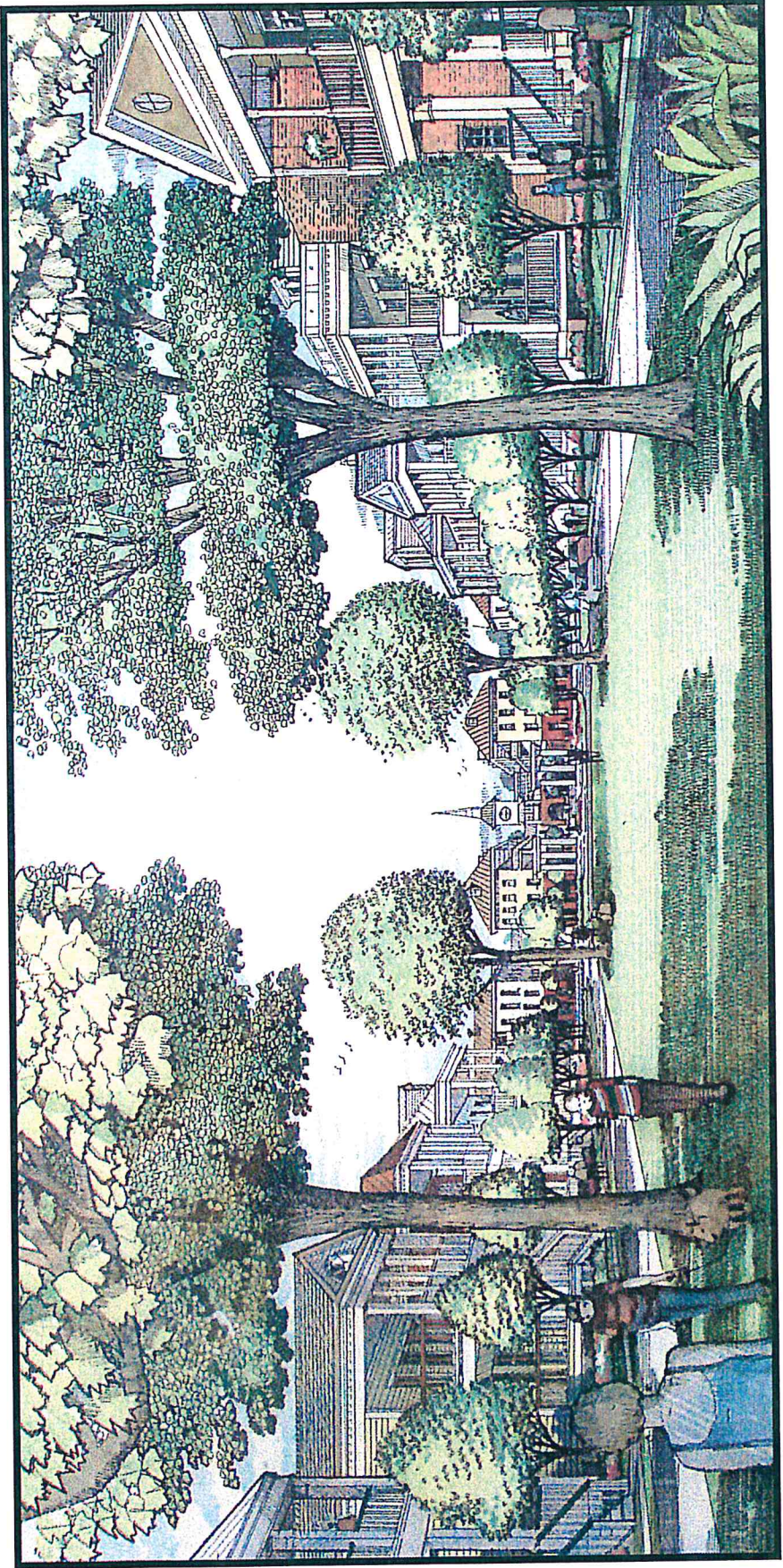
A BUNGALOW COURT STELLAR

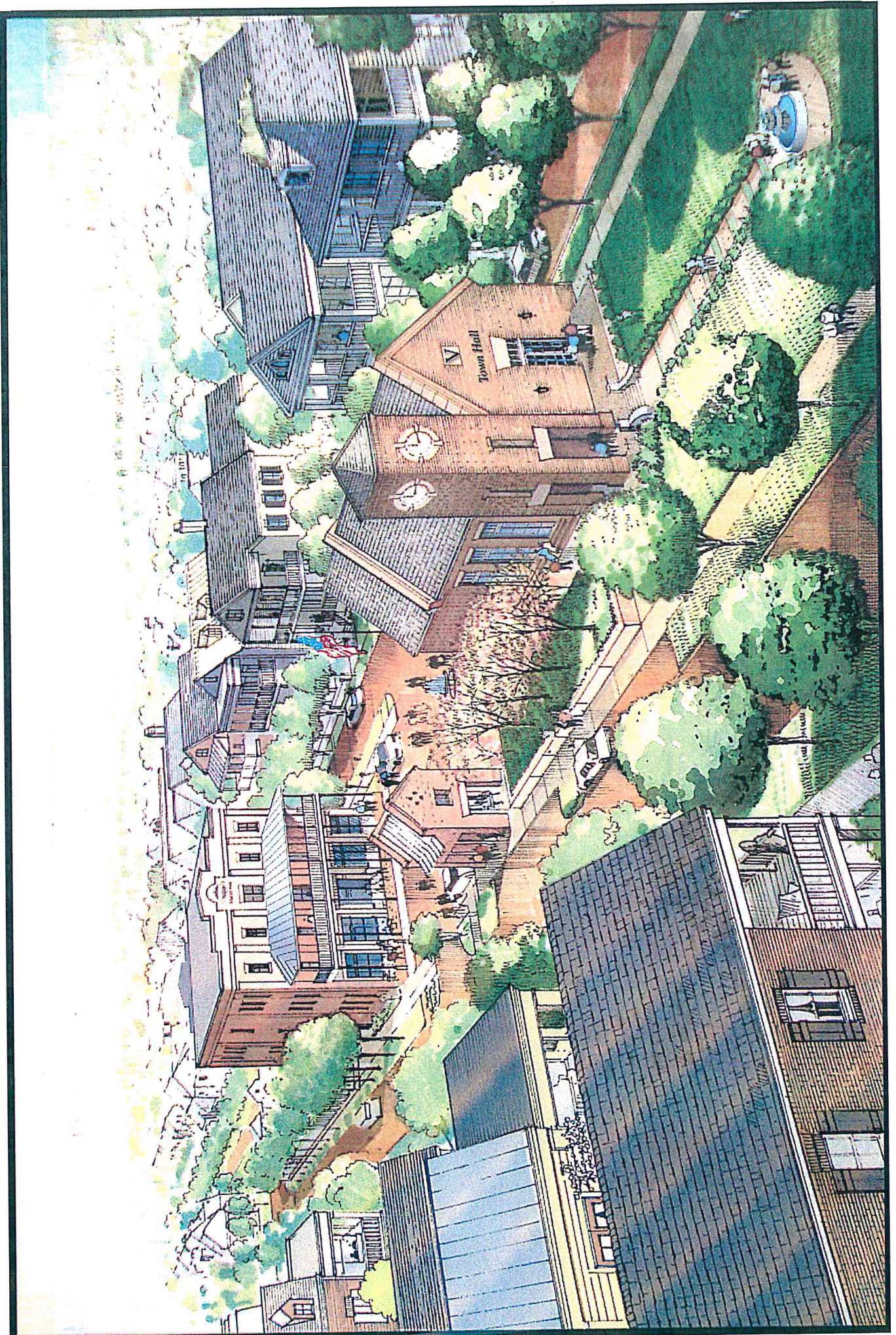
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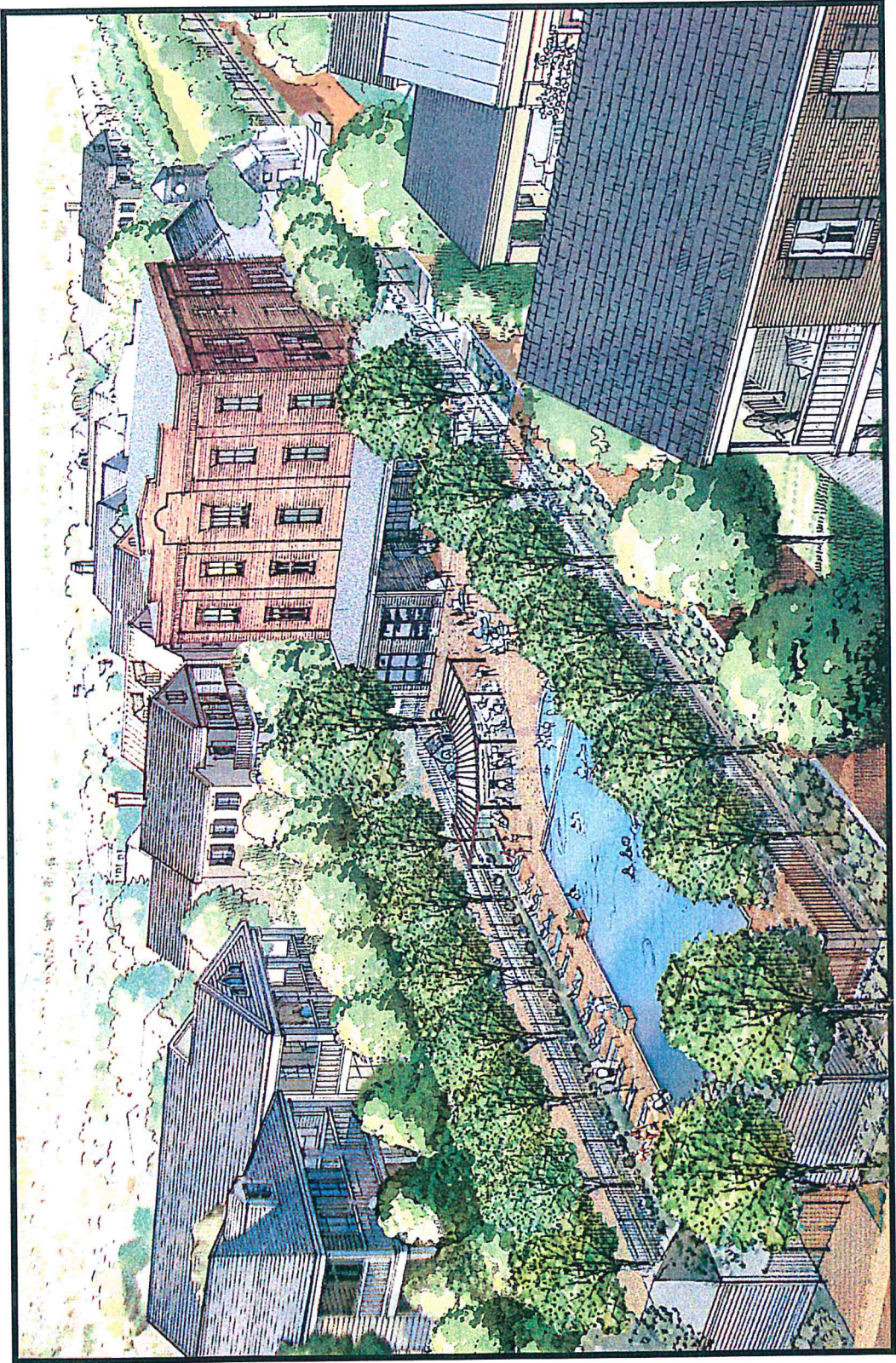
PAGE II - 12

VINTAGE TOWNSHIP
LUBBOCK, TEXAS









*URBAN
REGULATING
STANDARDS*



VINTAGE TOWNSHIP
LUBBOCK, TEXAS

PAGE
III

URBAN REGULATING
STANDARDS STELLAR
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02.01.06

**VINTAGE TOWNSHIP
URBAN REGULATION INSTRUCTIONS**
5/1/2010

The Design Code for Vintage Township is developed around The Transect, a system of land classifications described in The Lexicon of the New Urbanism, which incorporates a fine-grained network of lot distinctions. These characteristics follow the natural internal structure of an authentic neighborhood and serve to create the structure of the community of Vintage Township. This structure is expressed as three urban sectors: Village Center (VC), Village General (VG) and Village Edge (VE). The Village Center (VC) is the focus of the neighborhood's civic buildings and social activity. It incorporates retail, workplaces, and more dense residential units, and it connects directly to other parts of the neighborhood through a network of carefully articulated vehicular and pedestrian thoroughfares. As such, it is the densest graining of land subdivision in the neighborhood. The streets are generally designed with formalized on street parking characterized by avenues and main streets. Buildings placed either at or near the right-of-way line, further reinforce the streets edge and public character. The Village General (VG) is that element of the transect which focuses principally on residential use with a minimum of other potential uses and constitutes the majority of the type of the land uses at Vintage Township. Streets and boulevards generally characterize the thoroughfare makeup within the Village General.

The Village Edge (VE) is the least dense, purely residential, and characterized principally by it's rural character. Generally more luxurious setbacks at its frontage, sides, and rear result in blocks of low-density edge-ward treatment.

This Design Code creates an additional type of refined division within each of the individual described zones. For example, in the Village General I (VG-I), Village General II (VG-II) and Village General III (VG-III). These further serve to support an additional device, which further alter the placement of buildings on a lot, producing varying planning textures and urban behavior. Reference is made to the Urban Regulation Instructions in this design code for further clarification.

Land Classifications	Village Center					Village General					Village Edge			Horizontal Placement BTL - Build To Line (mandatory)
	VCI	VCII	VCIII	VGI	VGII	VGIII	VEI	VEII	VEIII	Front	Left	Right		
Commercial	0-5 BTL	5 BTL	10 BTL											
	0 BTL	5 BTL	10 BTL											
Livework	0-5 BTL	5 BTL	10 BTL											
	0 BTL	5 BTL	10 BTL											
Mansion Multi-Family	0 BTL	5 BTL	10 BTL											
	0 BTL	5 BTL	10 BTL											
Townhouses	3 BTL	5 BTL	10 BTL	7.5 BTL	10 BTL	15 BTL	15 BTL	15 BTL	15 BTL	15 BTL	20 BTL	30 BTL		
	0 BTL	5 BTL	10 BTL	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min
Sidayard House	5 BTL	5 BTL or 15-25 BTZ	5 BTL or 15-25 BTZ	5 BTL or 15-25 BTZ	5 BTL or 15-25 BTZ	5 BTL or 15-25 BTZ	5 BTL	5 BTL	5 BTL	5 BTL	5 BTL	5 BTL	5 BTL	5 BTL
	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min
House	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min
	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min	5 min

Location of Urban Zones (sectors & Divisions)
IN KEEPING WITH ITEM 16 ON PAGE 3 OF ZONING CASE #19047 SPECIFICALLY, DEVELOPER'S RIGHT TO AMEND THE PLAN IN STAGES FOR VARIOUS HOMESTYLE LOCATIONS TO RESPOND TO THE MARKET FOR THE VARIOUS STYLES OF HOMESTILES; DEVELOPER IS ALLOWED TO MODIFY LOCATIONS OF URBAN REGULATING ZONES (SECTORS AND DIVISIONS) TO FACILITATE SUCH CHANGES. CHANGES WILL BE NOTED ON A PLAN AND SUBMITTED TO THE CITY PLANNING DEPARTMENT BY DEVELOPER.

Building Use
ALL TYPES SHALL PERMIT RESIDENTIAL OR COMMERCIAL USE AT ALL STORIES EXCEPT FOR TOWNHOUSES; SEE LAND USE CLASSIFICATIONS ABOVE.

Reserve
SEE DEFINITION

Civic Uses
CIVIC BUILDINGS DESIGNED SPECIFICALLY FOR CIVIC FUNCTIONS (SEE CIVIC BUILDINGS DEFINITION), SHALL NOT BE SUBJECT TO THE REQUIREMENTS DESCRIBED IN THE URBAN REGULATING INSTRUCTIONS. THE PARTICULARS OF CIVIC BUILDING DESIGN SHALL BE IMMUNE FROM THIS SPECIFICITY. AS ANIMATORS OF THE PUBLIC REALM, THESE EXCEPTIONS SERVE TO ALLOW ARCHITECTURE THAT ACCENTS AND CELEBRATES THE COMMUNITY'S LIFE IN ITS MORE PUBLIC AND CIVIC GOINGS-ON. IN ORDER TO SUPPORT THIS CIVIC WORTH, IT IS OF UTMOST IMPORTANCE THAT THE PRIVATE BUILT ENVIRONMENT, WHICH SERVES PRIMARILY TO DEFINE THE PUBLIC REALM, MAINTAIN STRICT COMPLIANCE WITH THE RESTRICTIONS DESCRIBED IN THE URBAN REGULATING INSTRUCTIONS.

Corner Lots
BUILDINGS OCCURRING ON CORNER LOTS SHALL BE TREATED AS A PRINCIPAL ELEVATION ON BOTH FRONTAGES DEPENDING ON A WRAPPED PORCH OR SECONDARY ENTRY. EXCEPTIONS TO THIS ARE ALLOWED ONLY WITH DRB APPROVAL.

Outbuilding
ALLOWED ONLY AT TOWN HOUSES; OUTBUILDINGS SHALL PERMIT LIVING AND LIMITED OFFICE USE (A MAXIMUM SIZE OF 500 SF).

Parking
AUTOMOBILE STORAGE OF ADEQUATE SIZE AND ACCESS SHALL BE PROVIDED WITHIN THE LOT IN ACCORDANCE WITH THE CITY OF LUBBOCK PLANNING AND ZONING ORDINANCE, OR AS DEFINED IN THE VINTAGE TOWNSHIP ZONE CASE AND AMENDMENTS THEREAFTER.

Front home to lot Width Coverage
N/A

Facade
THE PLACEMENT OF THE FACADE AT THE FRONT SETBACK LINE SHALL BE MANDATORY UNLESS OTHERWISE SHOWN SHOWING NO MORE THAN TWO CORNERS TO THE FRONTAGE.

Garage Setback
THE REAR EDGE OF THE GARAGE MUST BE PLACED WITHIN THE BUILD-TO-ZONE (BTZ) AS STIPULATED ABOVE. A BTZ IS A MINIMUM AND MAXIMUM DISTANCE FROM THE REAR PROPERTY LINE. THIS PROVIDES FLEXIBILITY FOR THE DESIGNER WITHIN A RANGE. THE GARAGE MAY ONLY BE PLACED PARTIALLY OFF THE REAR PROPERTY LINE THAN THE MAXIMUM BTZ ALONG IF APPROVED BY THE DRB.

Partial Structure on Zero-Lot-Line
A PORTION OF A HOME MAY SIT ON A PROPERTY LINE AS OPPOSED TO THE MAJORITY OF A STRUCTURE SUCH AS A SIDEYARD HOME. IN SUCH A CASE, THE ZERO-PORTRION OF THE STRUCTURE IS NOT RESTRICTED TO THE MINIMUM SIDE SETBACKS AS STIPULATED ABOVE. ANY ZERO-PORTRION OF A STRUCTURE MUST HAVE AN ACCESS AND MAINTENANCE AS WELL AS AN LEAVE OVERHANG EASEMENT ON THE CORRESPONDING PORTION OF THE ADJOINING PROPERTY UNLESS IT IS LOCATED ON A PUBLIC RIGHT-OF-WAY OR SHARES A COMMON WALL WITH AN ADJACENT STRUCTURE.

Fences and Garden Walls
IN THE ABSENCE OF BUILDING, GARDEN WALLS AND GATES SHALL BE BUILT FROM 0 - 8' FROM THE APPLICABLE SETBACK LINE IN ACCORDANCE WITH THE SETBACK.

Dooryard
DOORYARDS SHALL BE PROVIDED AS INDICATED ON THE URBAN REGULATING OPPORTUNITIES AND CONSTRAINTS PLAN. THE WALL SHALL BE LOCATED @ THE FRONTAGE LINE IN ACCORDANCE WITH THE CORNER LOTS' VIEW TRIANGLE AND SHALL BE A HEIGHT OF 2'-6" ABOVE THE LEADING EDGE OF THE SIDEWALK @ THE FRONTAGE LINE. THE FIRST FLOOR SHALL BE ELEVATED ABOVE THE DOORWAY AT A MIN. OF 3'-0".

Corner Lots
BUILDINGS ON CORNER LOTS SHALL HOLD CLEAR A VIEW TRIANGLE AS APPROVED IN THE VINTAGE TOWNSHIP ZONING ORDINANCE. SEE STREET SECTIONS AND DETAILS.

Parking
PARKING SHOULD BE LOCATED IN THE CENTER OF THE BLOCK. THE PARKING AND SIDEWALK SYSTEM SHALL BE LANDSCAPED TO PROVIDE SHADE AND SHELTER AND A STREET EDGE. PROVIDE THROUGH-BLOCK CONNECTORS TO PROVIDE ACCESSIBILITY BETWEEN PARKING AND BUILDING FRONTAGES @ INTERVALS NOT TO EXCEED 150 FEET.

Porches, Balconies, and Steps
PORCHES, BALCONIES AND STOOPS SHALL BE PROVIDED IN ANY ONE OF THE COMBINATIONS SHOWN IN THE BUILDING PLACEMENT GUIDELINES.

Main Floor
THE FIRST FLOOR LEVEL SHALL BE ELEVATED ABOVE THE GRADE AT THE PORCH OR STOOP A MINIMUM OF 2'-6" @ VCI AND 3'-0" @ VCII EXCEPT THAT COMMERCIAL USES SHALL BE NEAR SIDEWALK GRADE.

Main Floor Height
THE FIRST STORY INTERIOR CLEAR HEIGHT SHALL BE NO LESS THAN 12' NOR MORE THAN 18'

Max. Building Height
4 STORIES

Corner Lots
ALL LOTS OCCURRING AT BLOCK CORNERS SHALL BE A MINIMUM OF 3 STORIES

Roofs
BUILDINGS MAY HAVE FLAT ROOFS ENCLOSED BY PARAPETS OR SLOPED ROOFS IN ACCORDANCE WITH THE ARCHITECTURAL GUIDELINES.

General Instructions
ALL TYPES SHALL PERMIT RESIDENTIAL USE AT ALL STORIES OF THE PRINCIPAL STRUCTURE; SEE LAND CLASSIFICATIONS ABOVE.

Horizontal Placement Instructions
AUTOMOBILE STORAGE OF ADEQUATE SIZE AND ACCESS SHALL BE PROVIDED WITHIN THE LOT IN ACCORDANCE WITH THE CITY OF LUBBOCK PLANNING AND ZONING ORDINANCE, OR AS DEFINED IN THE VINTAGE TOWNSHIP ZONE CASE AND AMENDMENTS THEREAFTER. ACCESS TO PARKING OFF PRIMARY STREETS MAY BE FRONTAL ON SIDE IN THE CONFIGURATIONS SHOWN.

Vertical Placement Instructions
THE PROPER PLACEMENT OF HOMES ON THE STREET CREATES A HUMAN SCALE ENVIRONMENT, ORDER AND A STRONG SENSE OF PLACE. TO EACH END THE WIDTH OF THE FRONT MASS OF EACH HOME AS IT RELATES TO THE WIDTH OF ITS LOT IS IMPORTANT. THE FRONT WIDTH OF THAT HOME SHOULD BE APPROXIMATELY 75-80% OF THE FRONT WIDTH OF ITS LOT BUT NO WIDER THAN POSSIBLE GIVEN MINIMUM SIDE SETBACKS AS APPROPRIATE. NARROWER HOMES ARE PROHIBITED UNLESS OTHERWISE APPROVED BY THE DRB.

Vertical Placement Instructions
WHERE PROVIDED, FENCES AND GATES SHALL BE BUILT ON THE PRIMARY FRONTAGE LINE OR 1-0' FROM THE ROW TO ACCOMMODATE LANDSCAPING. A HEDGE SHALL BE PLACED AT THE ROW LINE OR 2'-0" FROM THE ROW LINE. GARDEN WALLS AND GATES SHALL NOT BE BUILT ON THE FRONTAGE LINE BUT MAY BE BUILT COPLANAR OR BEYOND TO THE FRONT WALL OF THE MAIN BUILDING. COPLANAR GARDEN WALLS SHALL BE BRICK, STUCCO, STONE OR WROUGHT IRON. BUILDINGS ON CORNER LOTS MAY BUILD A GARDEN WALL AND GATES AT ONLY ONE OF ITS FRONTAGE LINES WHEN APPROVED BY THE DRB IN ADVANCE. SAND GARDEN WALLS SHALL BE CONSTRUCTED AT A BTL OF 2'-0' BEHIND THE FRONTAGE LINE.

Vertical Placement Instructions
GARAGES SHALL BE ENTERED FROM THE REAR ALLEY OR LANE, IF PROVIDED. WHERE LOTS ARE NOT ALLEY LOADED, PARKING PLACEMENT SHALL BE A MINIMUM OF 30 FEET BEHIND THE FACADE WITH A MAXIMUM OF A SINGLE WIDTH DRIVEWAY NOT EXCEEDING 12 FEET IN WIDTH FROM THE FRONTAGE TO THE FACADE LINE.

Vertical Placement Instructions
PORCHES, BALCONIES AND STOOPS SHALL BE PROVIDED IN ANY ONE OF THE COMBINATIONS SHOWN ON ARCHITECTURAL TYPOLOGIES.

Vertical Placement Instructions
THE FIRST FLOOR LEVEL SHALL BE ELEVATED ABOVE THE LEADING EDGE OF GRADE AT THE PORCH A MINIMUM OF 3'-0" AND MAXIMUM OF 4'-0". EXCEPT FOR PRODUCTS AND VARIANCES OTHERWISE APPROVED BY THE DRB.

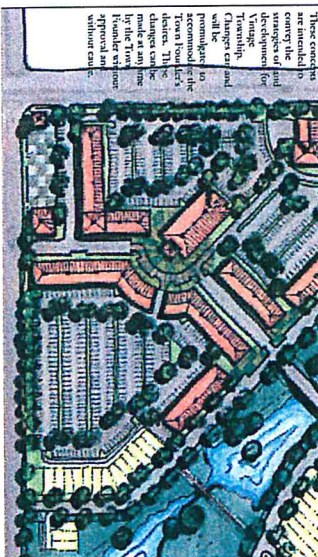
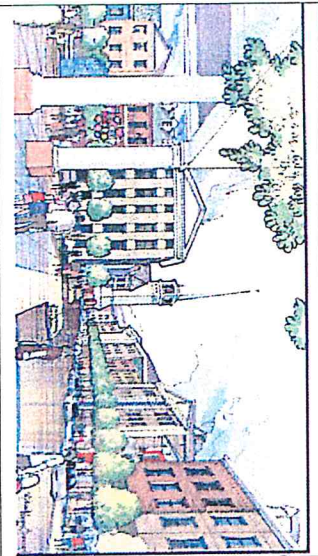
Vertical Placement Instructions
THE FIRST FLOOR WALL PLATE HEIGHT SHALL BE NO LESS THAN 10' NOR MORE THAN 12'. SECOND FLOOR WALL PLATE SHALL BE NO LESS THAN 13' NOR GREATER THAN 21' AT THE PRIMARY BUILDING FRONTAGE ONLY. ALL OTHER SPACES MAY BE A MINIMUM OF 9'. VARIATIONS ALLOWED ONLY WITH DRB APPROVAL.

Vertical Placement Instructions
3 STORIES OR 45' (WHICHEVER IS GREATER)

Vertical Placement Instructions
BUILDINGS SHALL HAVE SLOPED ROOFS IN ACCORDANCE WITH THE ARCHITECTURAL TYPOLOGIES.

VILLAGE CENTER

THE VILLAGE CENTER (VC) IS THE FOCUS OF THE NEIGHBORHOODS CIVIC BUILDINGS AND SOCIAL ACTIVITY. IT INCORPORATES RETAIL, WORKPLACES, AND MORE DENSE RESIDENTIAL UNITS IN ACCORDANCE WITH THE SPECIFIC USE PLAN, AND IT CONNECTS DIRECTLY TO OTHER PARTS OF THE NEIGHBORHOOD THROUGH A NETWORK OF CAREFULLY ARTICULATED VEHICULAR AND PEDESTRIAN THOROUGHFARES. AS SUCH, IT IS THE DENSEST GRAINING OF LAND SUBDIVISION IN THE NEIGHBORHOOD. THE STREETS ARE GENERALLY DESIGNED WITH FORMALIZED ON-STREET PARKING CHARACTERIZED BY AVENUES AND MAIN STREETS. BUILDINGS PLACED EITHER AT OR NEAR THE RIGHT-OF-WAY LINE, FURTHER REINFORCE THE STREETS EDGE AND PUBLIC CHARACTER.

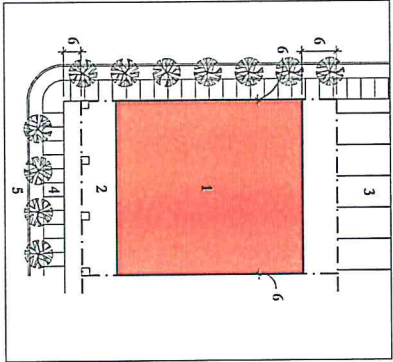


USES and ARCHITECTURAL TYPES

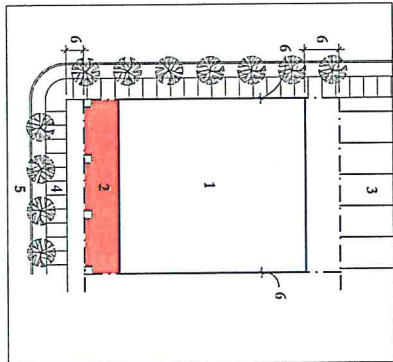
In accordance with the adjacent zoning classifications for Village Township



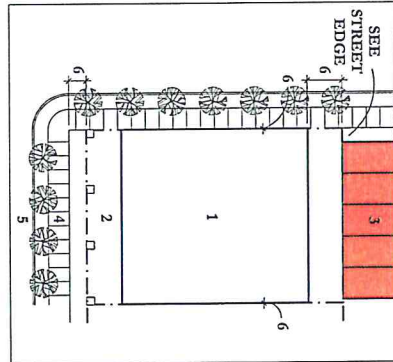
BUILDING PLACEMENT



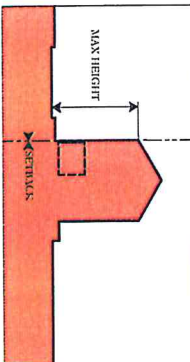
BUILDING FRONTAGE



PARKING PLACEMENT



BUILDING HEIGHT and PROFILE



MAXIMUM HEIGHT

Building height shall be measured in number of stories. See Urban Regulation for heights of Porches, Balconies, Swoops, Main Floor Height, and Maximum Building Height. Minimum Stories: See Urban Regulation Maximum Stories: See Urban Regulation

BUILDING PLACEMENT AND BUILDING FRONTAGE LEGEND

- 1 Building Zone
- 2 Optional Front Gallery or Awning Covering
- 3 Rear Parking Zone
- 4 Sidewalk
- 5 Street
- 6 See Urban Regulations

The building types shown in these building placement guidelines may be substituted with any of the building types shown in the Village Center section of the building type guidelines.

SETBACKS

Buildings shall be placed with the shaded area as shown in the above diagram and urban regulation. See urban regulation for setback notes on Facade, Fences and Garden Walls, Corner Lot, and Parking

ENCROACHMENTS

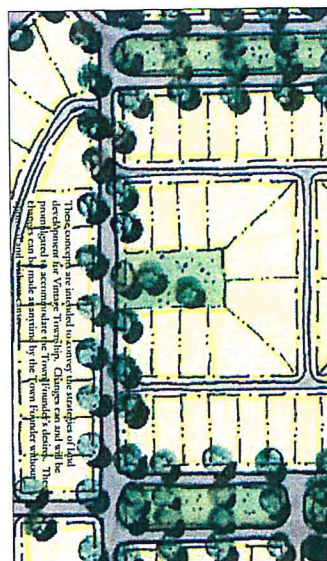
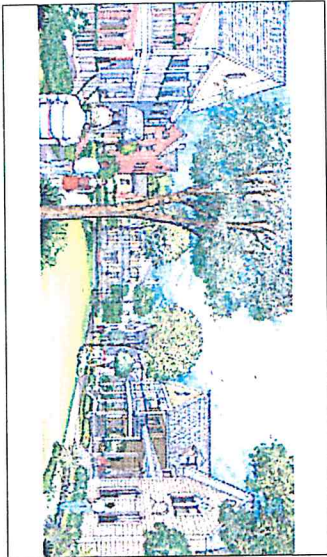
Porches, Balconies, and Swoops shall be provided in any one of the combinations shown on Architectural Typologies

PARKING REQUIREMENTS

On-site parking is allowed only in the shaded area as shown above. Vehicular access will be provided in urban regulation.

VILLAGE GENERAL

THE VILLAGE GENERAL (VG) IS THAT ELEMENT OF THE TRANSECT WHICH FOCUSES PRINCIPALLY ON RESIDENTIAL USE WITH A MINIMUM OF OTHER POTENTIAL USES TO INCLUDE ANGLIARY UNITS, APARTMENTS, AND FOR HOME OCCUPATION. IT CONSTITUTES THE MAJORITY OF THE LAND USE TYPES IN ACCORDANCE WITH THE SPECIFIC USE PLAN AT VINTAGE TOWNSHIP. STREETS AND BOULEVARDS GENERALLY CHARACTERIZE THE THOROUGHFARE MAKEUP WITHIN THE VILLAGE GENERAL.



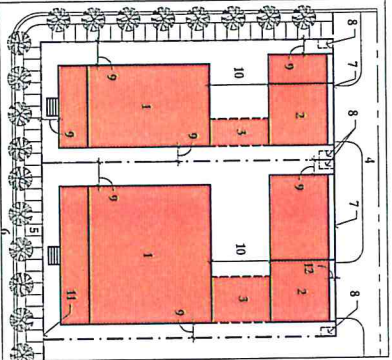
Development are not limited to those shown in the typical of Urban development for Village Township. Changes can and will be permitted in accordance with the Township's plan. The Township can be made a part of the Town Order without the Township's plan.

USES and ARCHITECTURAL TYPES

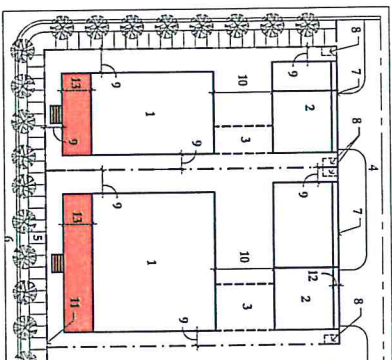
In accordance with the revised zoning classifications for Vintage Township



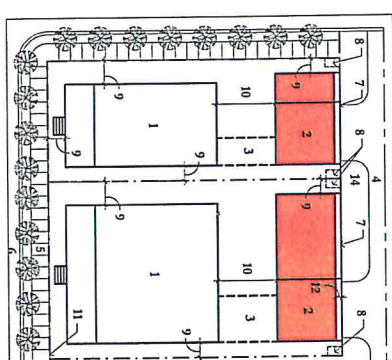
BUILDING PLACEMENT



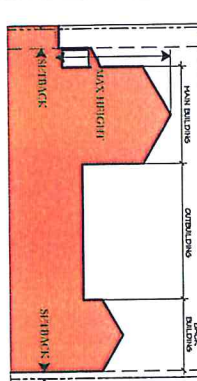
BUILDING FRONTAGE



PARKING PLACEMENT



BUILDING HEIGHT and PROFILE



MAXIMUM HEIGHT
Building height shall be measured in number of stories. See Urban Regulation for heights of Porches, Balconies, Scaops, Main Floor Height, and Maximum Building Height.
Minimum Stories: See Urban Regulation
Maximum Stories: See Urban Regulation

The building types shown in these building placement guidelines may be substituted with any of the building types shown in the Village General & Edge (edge loaded) sections of the building type guidelines.

SETBACKS
Buildings shall be placed with the shaded area as shown in the above diagram and urban regulation.
See urban regulation for setback notes on Frontal, Fences and Garden Walls, Corner Lot, and Parking.

ENCROACHMENTS
Porches, Balconies, and Scaops shall be provided in any one of the combinations shown on Architectural Typologies.

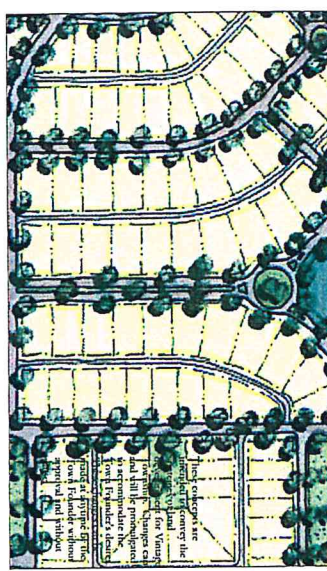
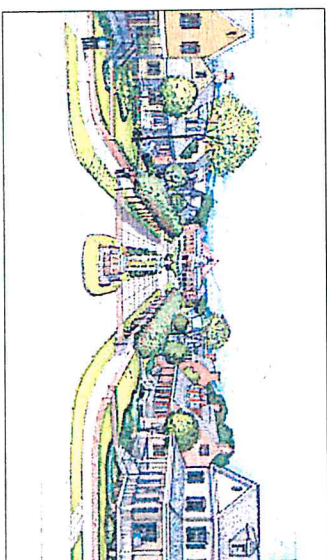
PARKING REQUIREMENTS
On-site parking is allowed only in the shaded area as shown above. Vehicular access will be provided in urban regulation.

BUILDING PLACEMENT AND BUILDING FRONTAGE LEGEND

1. Building Zone
2. Parking Zone/Over Bldg
3. Optional Back Building
4. Alley
5. Sidewalk
6. Street
7. Property Line
8. Utilities Alone
9. See Urban Regulations
10. 20' Min. Corridor
11. Right Of Way & Location of Fence
12. See Urban Regulations
13. 8' Min. Porch Depth
14. See street sections for fence locations along alley.

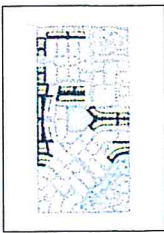
VILLAGE EDGE / NON ALLEY LOADED

THE VILLAGE EDGE (VE) IS THE LEAST DENSE, PURELY RESIDENTIAL AND CHARACTERIZED PRINCIPALLY BY ITS RURAL CHARACTER IN ACCORDANCE WITH THE SPECIFIC USE PLAN. GENERALLY MORE LUXURIOUS SETBACKS AT ITS FRONTAGE, SIDES AND REAR RESULTS IN BLOCKS OF LOW DENSITY EDGE YARD TREATMENT. THE STREETS ARE GENERALLY LESS FORMAL.



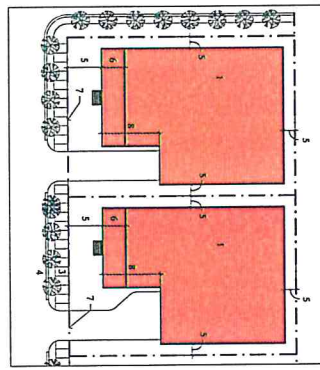
USES and ARCHITECTURAL TYPES

In accordance with the adjusted zoning classifications for Village Township



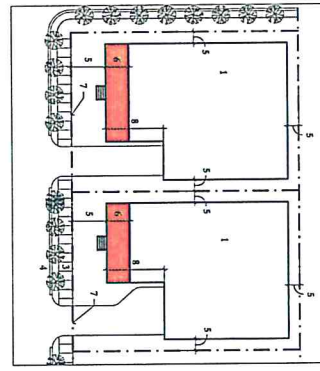
BUILDING PLACEMENT

FOR ALLEY LOADED LOTS, SEE VILLAGE GENERAL PLACEMENT SHEET.



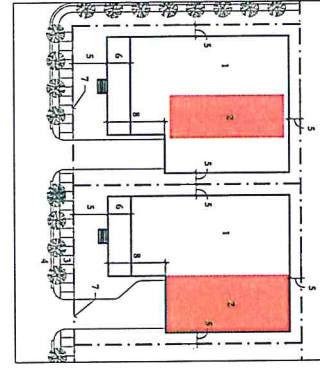
BUILDING FRONTAGE

FOR ALLEY LOADED LOTS, SEE VILLAGE GENERAL PLACEMENT SHEET.

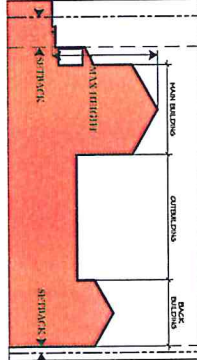


PARKING PLACEMENT

FOR ALLEY LOADED LOTS, SEE VILLAGE GENERAL PLACEMENT SHEET.



BUILDING HEIGHT and PROFILE



MAXIMUM HEIGHT
Building height shall be measured in number of stories. See Urban Regulation for heights of Porches, Balconies, Soods, Main Floor Height, and Maximum Building Height.
Minimum Stories: See Urban Regulation
Maximum Stories: See Urban Regulation

- BUILDING PLACEMENT AND BUILDING FRONTAGE LEGEND**
1. Building Zone
 2. Parking Zone/Out Bldg.
 3. Setback
 4. Street
 5. See Urban Regulations
 6. 10' Min. Porch Depth
 7. Right Of Way
 8. The placement of the parking shall be a min. of 30' behind the grade with a max. of a single vehicle driveway not exceeding 12' from the frontage to the facade line on front haul.

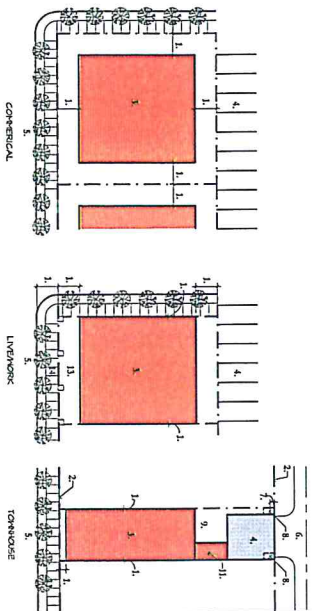
The building types shown in these building placement guidelines may be substituted with any of the building types shown in the Village Edge (front loaded) section of the building type guidelines.

SETBACKS
Buildings shall be placed with the shaded area as shown in the above diagram and urban regulation. See urban regulation for setback notes on Facade, Forces and Garden Walls, Corner Lots, and Parking

ENCROACHMENTS
Porches, Balconies, and Soods shall be provided in any one of the combinations shown on Architectural Typologies

PARKING REQUIREMENTS
On-site parking is allowed only in the shaded area as shown above. Vehicular access will be provided in urban regulation.

VILLAGE CENTER

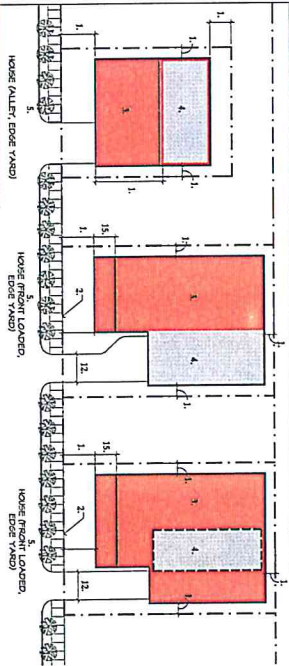


Legend	
01.	SEE URBAN REGULATION
02.	RIGHT OF WAY
03.	BUILDING ZONE
04.	PARKING ZONE
05.	STREET
06.	ALLEY
07.	15' BTL. PARKING SETBACK
08.	UTILITY AL COVE
09.	COURTYARD
10.	SIDEYARD
11.	OPTIONAL BACK BUILDING
12.	WIDTH 12' MAX. FROM FRONTAGE
13.	FRONT GALLERY
14.	SIDEWALK
15.	10' MINIMUM PORCH DEPTH
16.	8' MINIMUM PORCH DEPTH
17.	MANDATORY 10' NO BUILD SETBACK ON LOT ADJACENT TO "0" LOT LINE SIDE OF A SIDEYARD LOT.

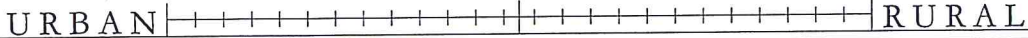
VILLAGE GENERAL



VILLAGE EDGE



TRANSECT



These concepts are intended to convey the strategies of land development for Vintage Township. Changes on and will be permitted to accommodate the Town Council's desires. These changes can be made at any time by the Town Council without approval of the Planning Commission.

ARCHITECTURAL STANDARDS

"We shape buildings, thereafter they shape us." - Winston Churchill

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VINTAGE TOWNSHIP
LUBBOCK, TEXAS

PAGE
V

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02.01.06

VINTAGE TOWNSHIP

CLASSICAL STYLE

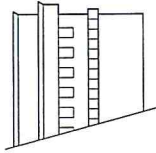
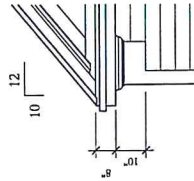
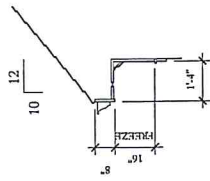
RENDERING



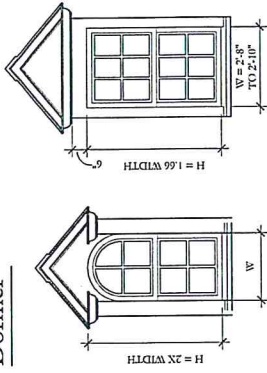
MAIN DISTINGUISHING CHARACTERISTICS

- The doorway, window line, and type of column are main distinguishing characteristics that define the Classical style. (See example details sheets)
- Full-height entry porch (portico) on the front facade is a common Classical feature.
- Gabled gable porch roof supported by four simple columns each with a shallow square base (pilastri) is also common.
- Horizontal or diagonal frieze above the paneled front door distinguishes a Classical style house.
- Windows are commonly aligned in symmetrical rows horizontally (usually five in a row, but may be three or seven) and vertically on the front facade.

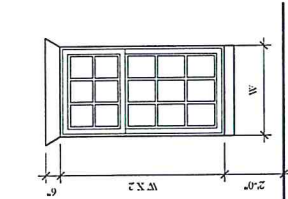
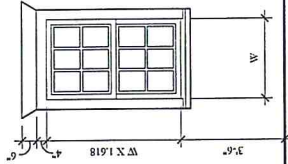
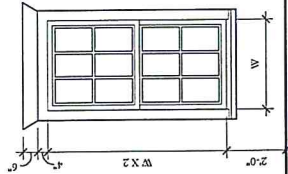
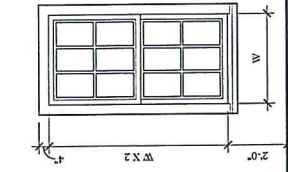
Eave / Cornice



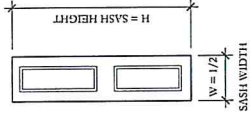
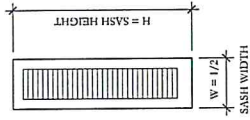
Dormer



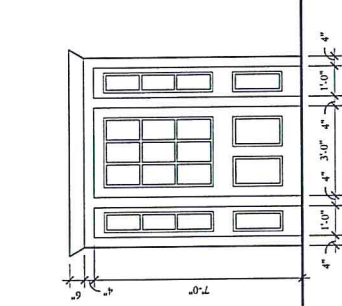
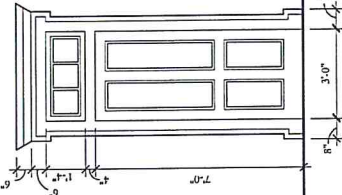
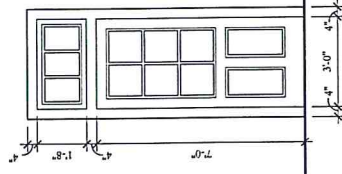
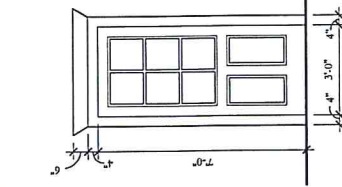
Windows



Shutters



Doors



DESCRIPTION

Building Elements and Techniques:

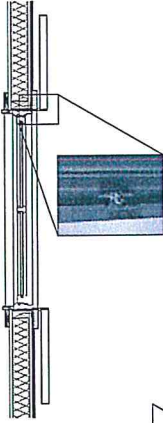
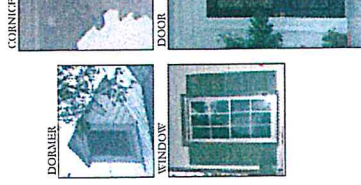
- May have a narrow line of detail on the cornice line.
- The gable pediment may have a lancet, a round, oval, or semicircular window.
- The embellishment (horizontal band between the column and the pediment) should be plain.

Roofs:

- Cornices shall have boxed eaves of 12" to 18". A wide frieze band is occasionally found beneath the cornice.
- Eaves shall be continuous, unless overhanging a balcony or porch. Eaves shall have an overhang from 16" to 32". Overhanging eaves may have exposed rafters.

Windows and Doors:

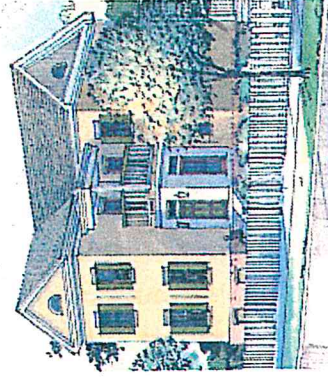
- Window proportions are 6 over 9 on the first floor and 6 over 6 on the second floor, or 9 over 9 on the first floor and 6 over 9 on the second floor.
- All vertically superimposed openings shall be centered along the vertical axis.
- Doors commonly have elaborate decorative surrounds.



VINTAGE TOWNSHIP

COLONIAL (CLASSIC) STYLE

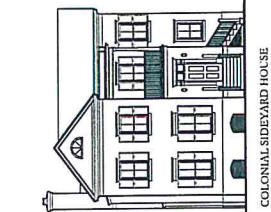
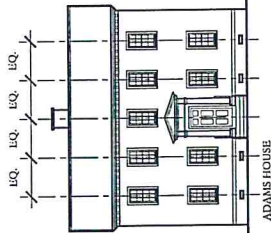
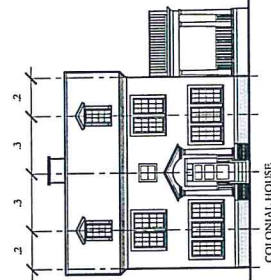
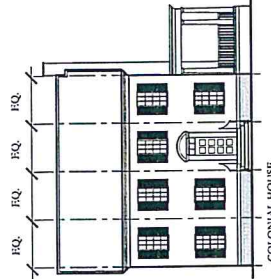
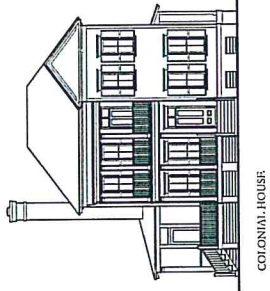
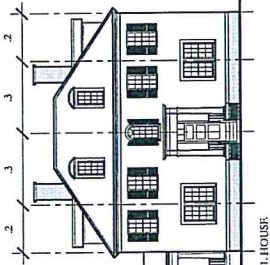
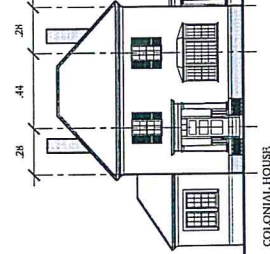
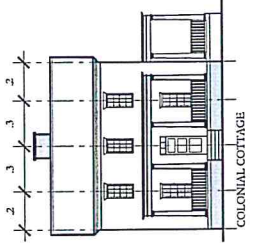
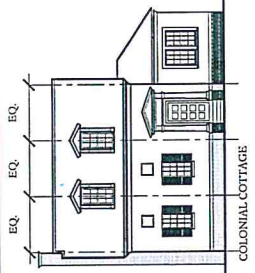
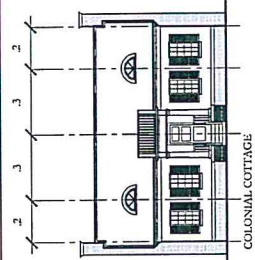
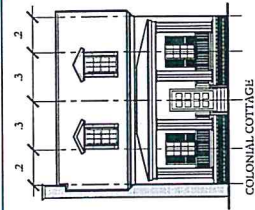
- MAIN DISTINGUISHING CHARACTERISTICS**
- Accentuated front door with decorative pediment supported by pilasters, or extended and supported by slender columns to form the entry or canopy.
 - The side windows are symmetrically placed windows and center door may have off center door.
 - Windows are commonly double-hung sashes with multi-pane glazing.
 - Windows may be in adjacent pairs.
 - The pediment is a distinguishing characteristic of the Colonial (Classic) style. (See example details sheet).



VINTAGE TOWNSHIP

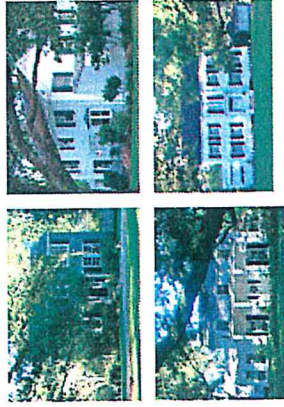
COLONIAL (CLASSIC) TYPOLOGIES

ELEVATIONS



BASIC MASSING

- Hipped roof without full-width porch.
- Simple two story rectangular box with a hipped roof.
- Small entry porch if any.
- Side-gabled roof.
- Side-gabled two story rectangular box with a side-gabled roof.
- Second story Overhang.
- The second story is extended slightly outward to overhang the wall below.
- Typically have masonry veneered first story with wooden wall cladding above.
- One or two stories.
- The one story may have a hipped or gabled roof.



THESE DIAGRAMS ILLUSTRATE A RANGE OF POSSIBILITIES FOR HOUSE DESIGN USING THE VINTAGE TOWNSHIP DESIGN CODE.



VINTAGE TOWNSHIP
LUBBOCK, TEXAS

PAGE
V-8

COLONIAL (CLASSIC) TYPOLOGIES
STELLAR

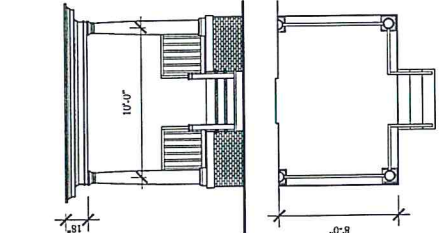
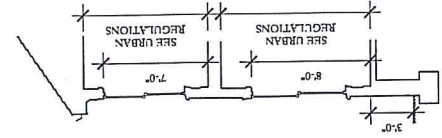
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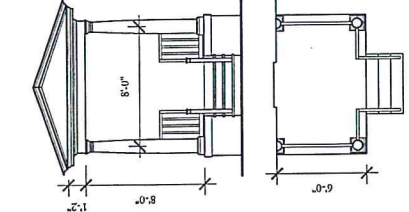
Typical Section

Porches

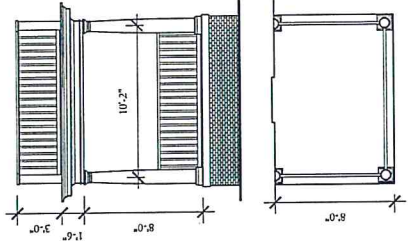
Porch Beam Sections



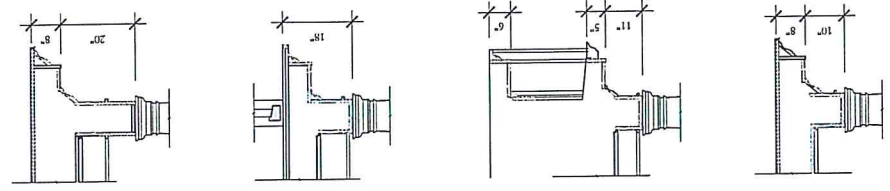
ENTRY PORTICO



SIDE PORTICO



ONE-DAY PORTICO



DESCRIPTION

Building Details:

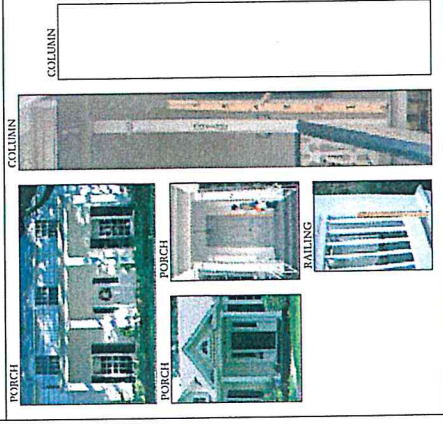
- Masonry or stone are the most common wall materials.
- Exterior siding shall consist of wood or cement board with a face dimension no less than 1 x 4 and no greater than 1 x 6.
- Columns shall be finished with a material which includes a finished and with an elliptical arch, a finished profile cornice with or without a 2' 0" balustrade, and a plain pediment. Balustrades are typically 1" square, spaced 4" on center.
- The full facade double height portico shall be finished with a material which includes a finished and with an elliptical arch, a finished profile cornice with or without a 2' 0" balustrade, and a plain pediment. Balustrades are typically 1" square, spaced 4" on center.
- The full facade double height portico shall be finished with a material which includes a finished and with an elliptical arch, a finished profile cornice with or without a 2' 0" balustrade, and a plain pediment. Balustrades are typically 1" square, spaced 4" on center.
- The full facade double height portico shall be finished with a material which includes a finished and with an elliptical arch, a finished profile cornice with or without a 2' 0" balustrade, and a plain pediment. Balustrades are typically 1" square, spaced 4" on center.

Building Elements:

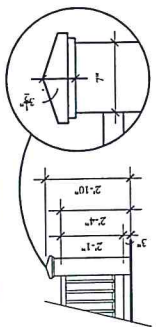
- Piers and arches shall be brick or stone
- Configuration and Techniques:
- Piers shall be no less than 6" by 6"
- Wood top rails shall be cased and bottom rails shall have a vertical section. Top and bottom rails shall be centered on the rail.
- Handrails shall have a vertical section. Top and bottom rails shall be centered on the rail.

Roofs:

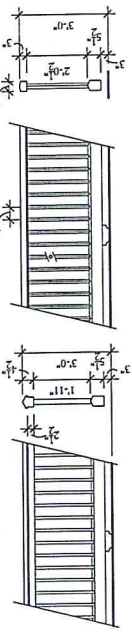
- Configuration and Techniques:
- Principal roof on all freestanding buildings shall be symmetrically hip or gable with a slope of 6/12 or 10/12.
- Roofing shall be finished with a material which includes a finished and with an elliptical arch, a finished profile cornice with or without a 2' 0" balustrade, and a plain pediment. Balustrades are typically 1" square, spaced 4" on center.



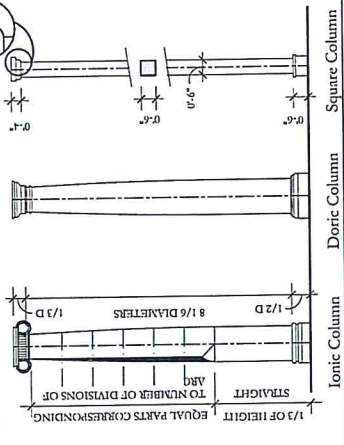
Upper Railings



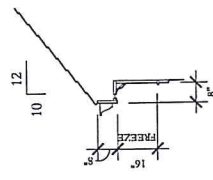
Lower Railings



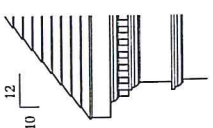
Columns and Pilasters



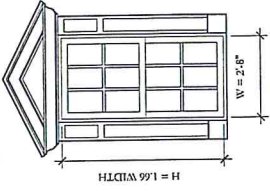
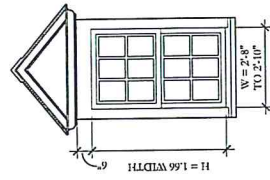
Eave



Cornice



Dormer



DESCRIPTION

Eave/Cornice
Configuration and Techniques:

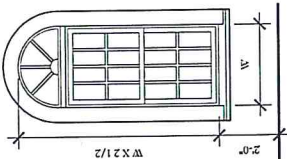
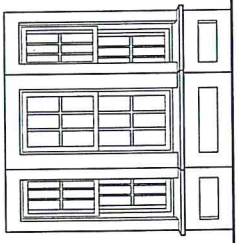
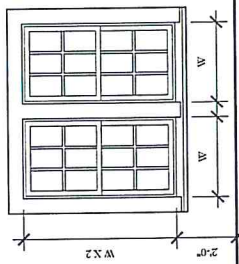
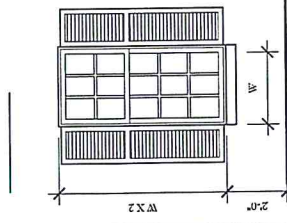
- On the Classic Colonial style, the cornice is part of a boxed roof/wall junction with little overhang.
- The cornice may be decorated with dentils or modillions.
- The cornice may have open eaves and rake or exposed rafters.
- Eaves shall be continuous, unless overhanging a balcony or porch. Eaves shall have an overhang from 12" to 16". Classic Colonial overhanging eaves are typically shallow boxes, frequently with dentils.

Windows and Doors:

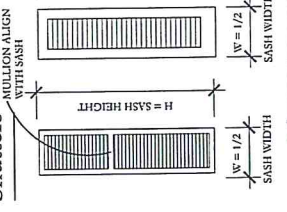
Configuration and Techniques:

- Classic Colonial style may have broken pediments over the entrance.
- Doors may have rectangular transoms and/or sideglights.
- Windows are rectangular with multiple hung sashes and shutters.
- Windows are placed on the first floor and second floor.
- Windows on the first floor and second floor are commonly either 6 over 9 on the first floor and 6 over 6 on the second floor, or 9 over 9 on the first floor and 6 over 9 on the second floor.
- In the Classic Colonial style, each window sash should have six, eight, nine, or twelve panes of glass, or multi-pane upper sash with single pane lower sash.
- All vertically supported windows shall be operable (casement or single hung).
- Greater and hexagonal windows may be fixed.
- The facade normally has balanced symmetrical windows with a center door, although examples do exist with the front door asymmetrically placed on the facade.

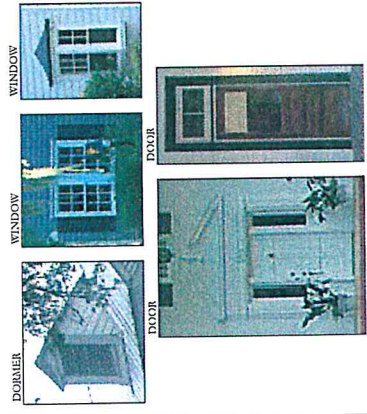
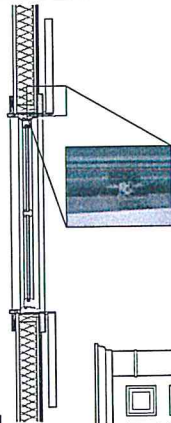
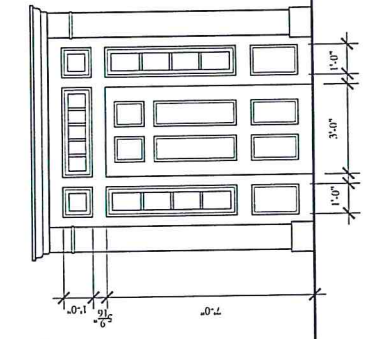
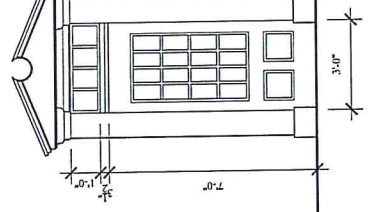
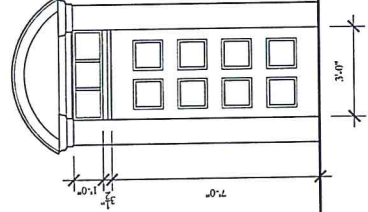
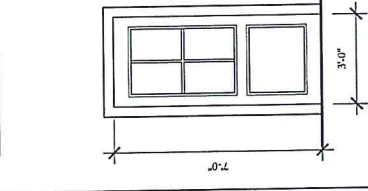
Windows



Shutters

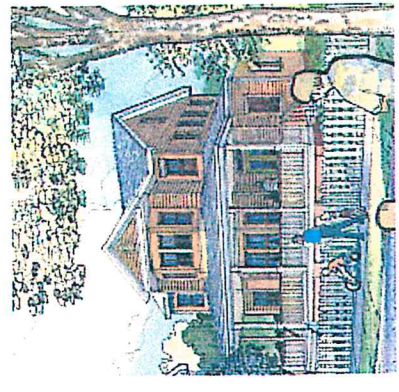
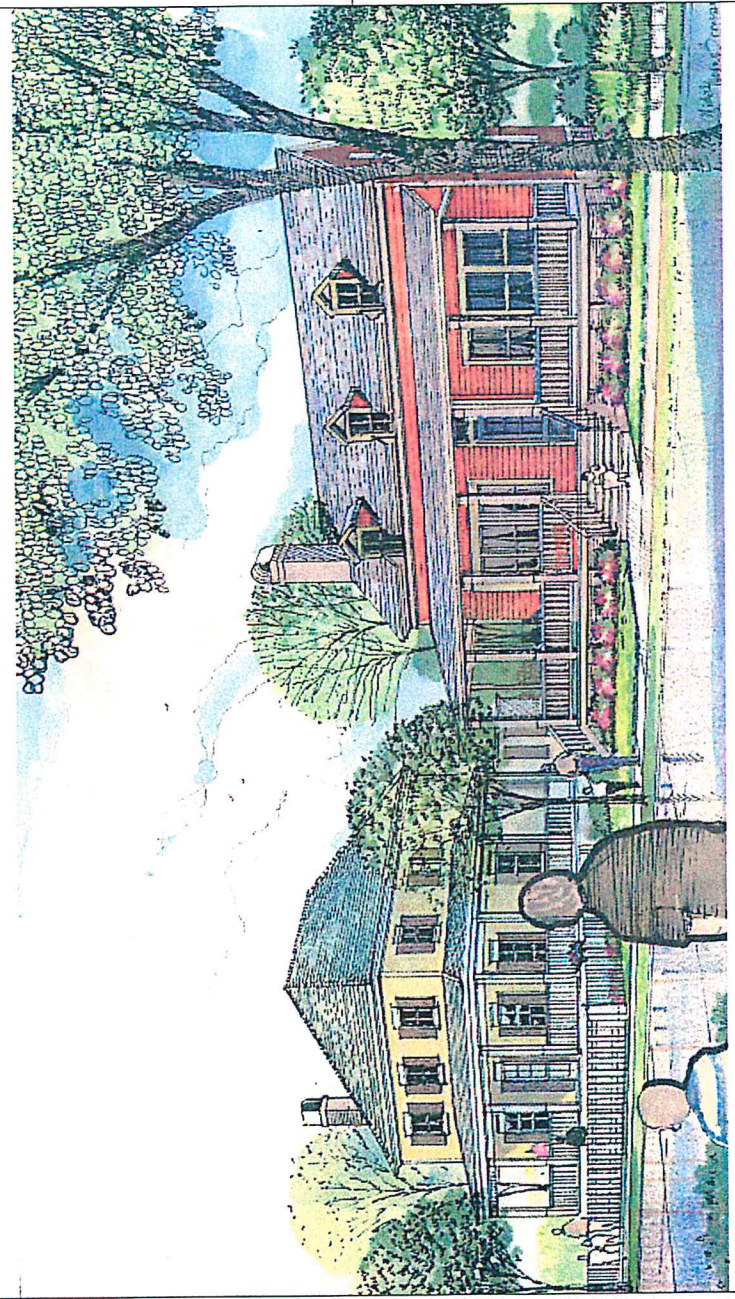


Doors



VINTAGE TOWNSHIP COLONIAL (FARMHOUSE) STYLE

RENDERING



MAIN DISTINGUISHING CHARACTERISTICS

- Accentuated front door with decorative pediment supported by pilasters, or extended and supported by a wide base with multi-pane glazing.
- Wide front porch with decorative columns and multi-pane glazing.
- The Colonial (Farmhouse) style commonly has a front porch that may be many different variations such as full width, full height, asymmetrical, or wrap around.

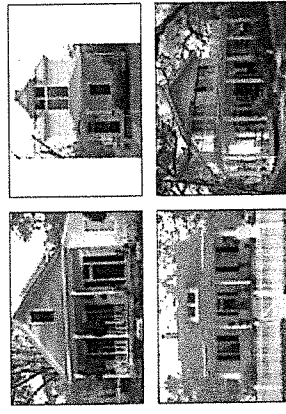
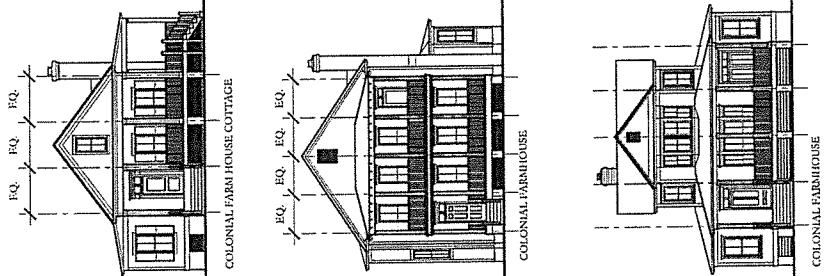
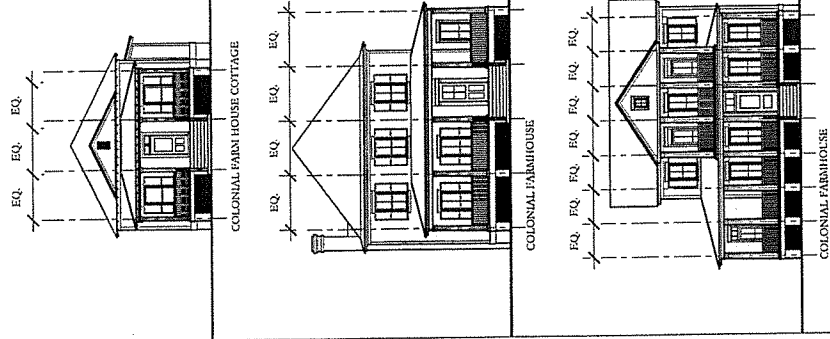
VINTAGE TOWNSHIP COLONIAL (FARMHOUSE) TYPOLOGIES

ELEVATIONS

BASIC MASSING

Basic Massing

- Asymmetrical facade
- Hipped roof with full-width porch
- One-story, full-width porch with classical or boxed columns added to a simple plan
- Asymmetrical facade with a full-width porch
- Hipped or Gabled dormers
- Side-gabled roof
- Simple one or two story rectangular box with a side-gabled roof
- Centered gabled roof for a single or double story configuration with full width porch either hipped or inset with classical or boxed columns
- One-story
- The one story may have a hipped or gabled roof.



THOSE DIAGRAMS ILLUSTRATING PRINCIPLES OF MASSING FIRST FOR HOUSES DESIGNING THE VINTAGE TOWNSHIP DESIGN CODE



VINTAGE TOWNSHIP
LUBBOCK, TEXAS

PAGE
V - 12

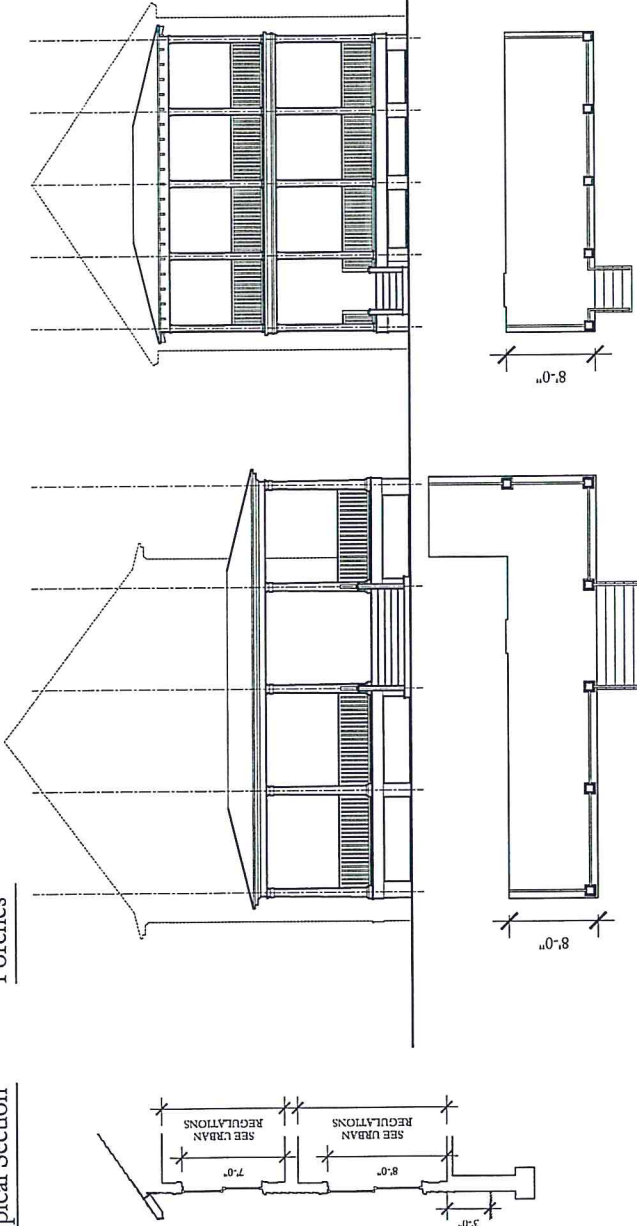
COLONIAL (FARMHOUSE) TYPOLOGIES STELLAR

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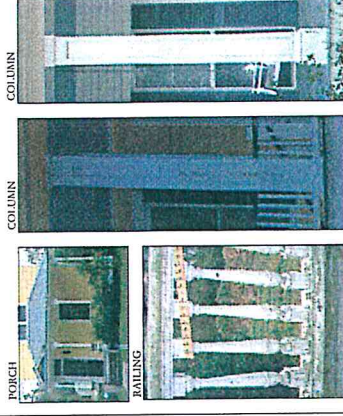
Typical Section

Porches

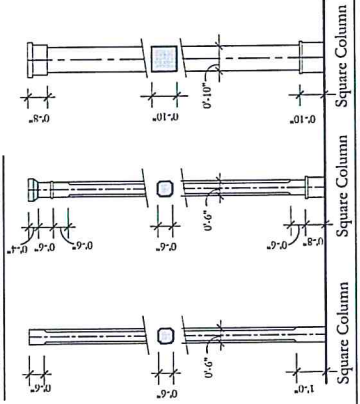


DESCRIPTION

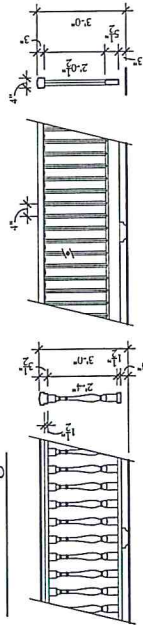
- Building Walls:**
- All common wall materials may be used.
 - Materials shall have a vertical texture. Top surfaces shall be finished with a decorative baluster. The openings between the members shall be a minimum of 1" and a maximum of 4".
 - The full inside double height portion shall be the full length of the front facade on the main house level. This porch has a simple but deep cornice over 12" deep.
- Roofs:**
- Configuration and Techniques:
 - Principal roof on all freestanding buildings shall be symmetrically hip or gable with a slope of 6:12 to 10:12.
 - Accessory roofs (attached to walls or roof)
- Building Elements:**
- Piers and arches shall be brick or stone
 - Configuration and Techniques:
 - Piers shall be no less than 6" by 6"
- Materials:**
- Principal roof on all freestanding buildings shall be symmetrically hip or gable with a slope of 6:12 to 10:12.
 - Accessory roofs (attached to walls or roof)



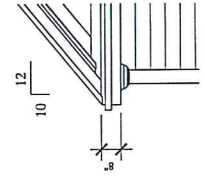
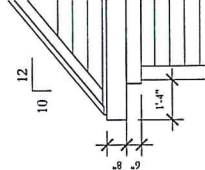
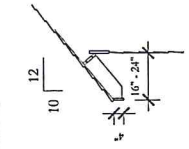
Columns and Pilasters



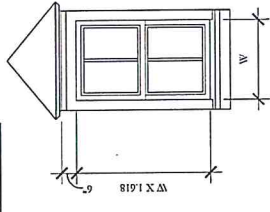
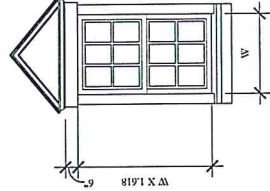
Lower Railings



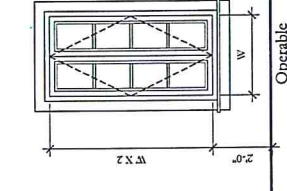
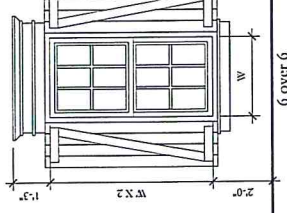
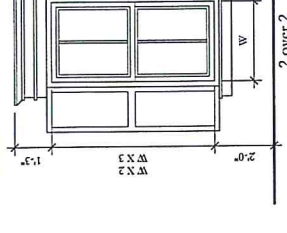
Eave/Cornice



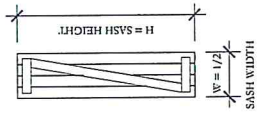
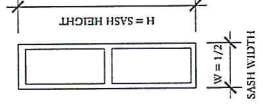
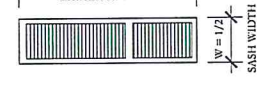
Dormer



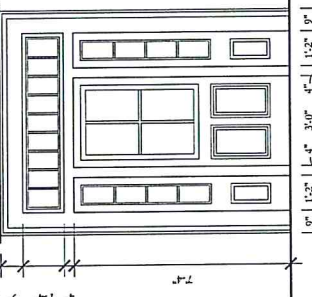
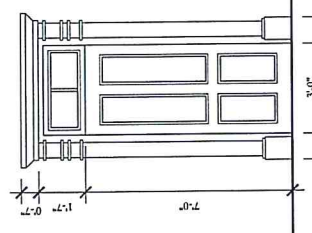
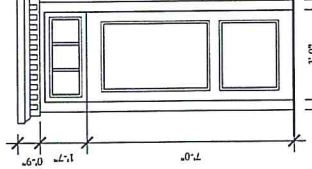
Windows



Shutters



Doors



DESCRIPTION

Eave/Cornice:

- On the Colonial Farmhouse style, the cornice is either boxed or exposed rafters with a finishing of 7/8" be decorated with dentils or moldings
- The cornice may have open eaves and eave or exposed rafters
- Eaves shall be continuous, unless overhanging a balcony or porch. Eaves shall have an overhang from 12" to 16". Colonial Farmhouse overhanging eaves are typically boxed, frequently with dentils or exposed rafters.

Windows and Doors:

- Doors may have rectangular transoms and/or sidelights
- Windows are rectangular with double hung sashes
- May have louver windows on paired windows.
- Window proportions on the Colonial Farmhouse style are commonly 2 over 2.
- In the Colonial Farmhouse style, each window sash should have two panes of glass in an architecturally supported opening, shall be centered along the vertical axis
- Rectangular windows shall be operable casement or single hung
- Circular and hexagonal windows may be faced.
- The facade normally has balanced symmetrical windows with a center door, although examples do exist with the front door asymmetrical placed on the facade.

FAVE



WINDOW



DOOR



DOOR



DOOR



VINTAGE TOWNSHIP

VICTORIAN STYLE

RENDERING



MAIN DISTINGUISHING CHARACTERISTICS

QUEEN ANNE

- Queen Anne Victorian houses have a steeply pitched roof (12:12 to 16:12) with irregular shapes, commonly with a dominant front facing gable.
- Multi-textured or multicolored walls and curaway bay windows are common.
- Asymmetrical facades with a one story porch or full-width porch which extends along one or both side walls is common.

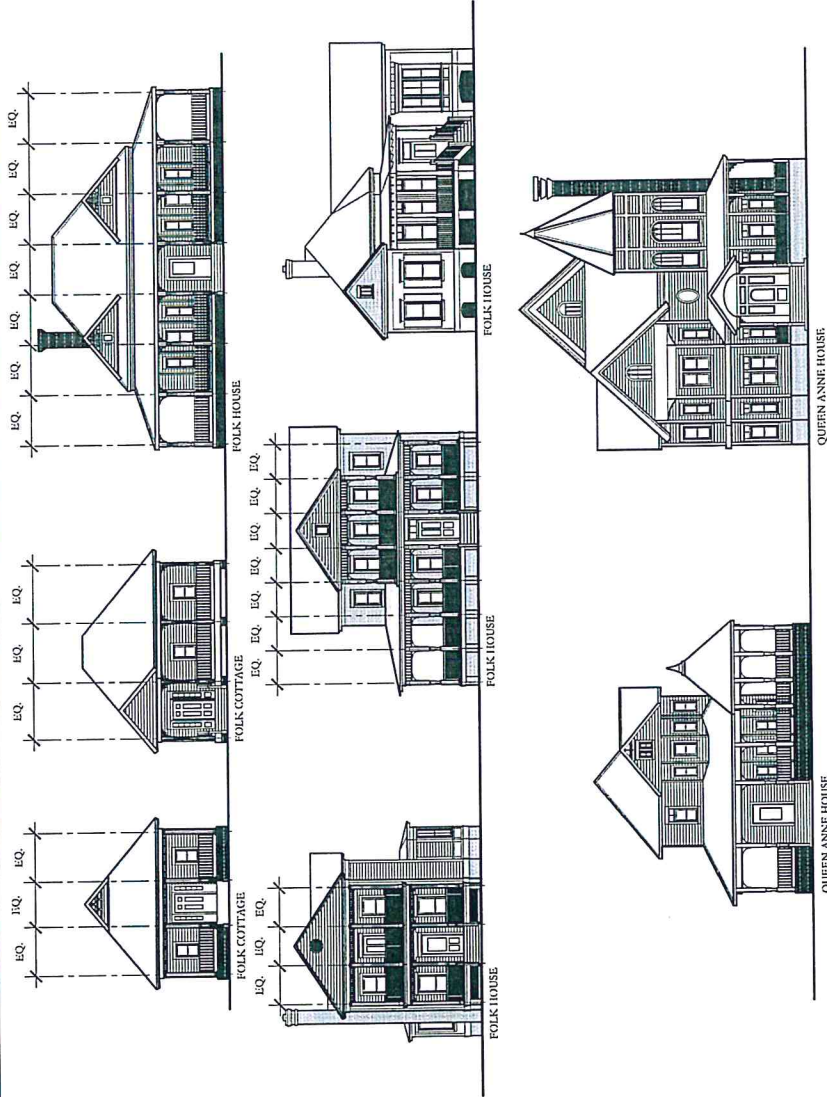
FOLK VICTORIAN

- Folk Victorian houses may have some Queen Anne spindle work detailing, but should have a symmetrical facade and no textured or curving wall surfaces like the Queen Anne styles.
- Victorian decorative detailing on simple folk house forms is common.
- Porches may have spindle work detailing or flat, flared columns.
- Cottage-like brackets are also common.

VINTAGE TOWNSHIP

VICTORIAN TYPOLOGIES

ELEVATIONS



BASIC MASSING

QUEEN ANNE:

- Hipped roof with lower cross gable; Most commonly, one front facing cross gable and one side facing cross gable, both asymmetrically placed.
- Hipped ridges may run from front to back.
- May have a small front porch or a small front deck crossing the hipped portion of the roof may have a gable-ship added.
- May have dormer, additional gables, or a tower placed at one corner of the front facade.

Cross-gabled roof:

- Normally an L-shaped plan.
- May have a tower embraced within the L.
- Four gabled roof.
- May have a tower placed at one corner of the front facade.
- Town house.

- May be gabled or flat roofed.
- May be individually distinguishable on the facade or may be part of a larger facade design.

FOLK VICTORIAN

- Front gabled roof.
- Two story, front gabled forms with Victorian detailing or one story, narrow shoptown forms.
- Gable front and wing.
- Side gabled roof (one or two story).
- Pyramidal roof.



THESE DIAGRAMS ILLUSTRATE A RANGE OF POSSIBILITIES FOR HOUSE DESIGNS USING THE VINTAGE TOWNSHIP DESIGN CODE.



VINTAGE TOWNSHIP
LUBBOCK, TEXAS

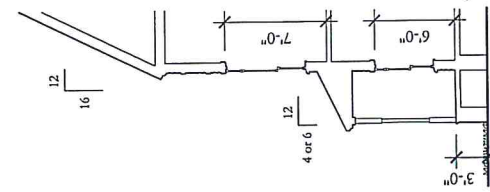
PAGE
V - 16

VICTORIAN
TYPOLOGIES
STELLAR

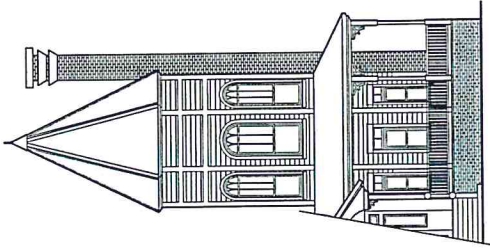
© COPYRIGHT 2016 - ARCHITECTS SOUTHWEST

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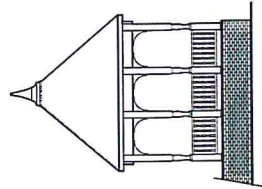
Typical Section



Building Elements



Tower with asymmetrical porch

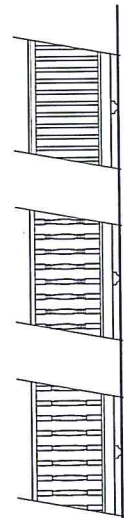


Cupola with gingerbread ornamentation

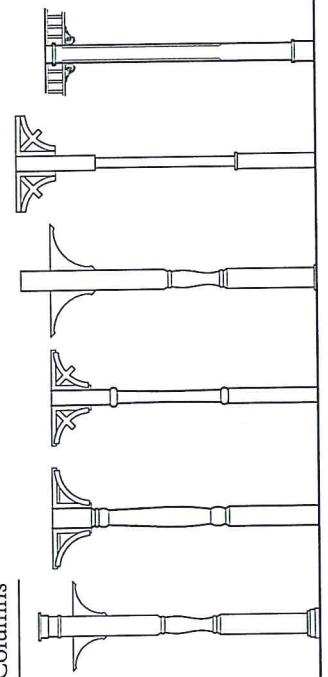


Side view of Bay Window

Railings



Columns



DESCRIPTION

Building Walls: QUEEN-ANNE

- Spindle work detailing is used in gables and under the overhangs of bay windows
- May have ornamental elements like lacy, decorative spandrels and knob-like beads
- May have a round or polygonal tower that extends from the ground or is cantilevered from the second floor

Materials:

- May have masonry walls with patterned brickwork or terra-cotta and stone decorative panels inset into the walls

Configuration and Techniques:

- Wall surfaces are primary, decorative
- May have decorative half-climbing in overhangs, wall projections, and several wall materials of differing textures
- A variety of materials on different stories
- May have decorative half-climbing in gables or upper story walls

Building Elements: QUEEN-ANNE

Configuration and Techniques:

- One-story porches are common and accentuate the asymmetry of the facade
- May have second story porches recessed in the gable, second story, or tower
- May have decorative half-climbing supports and spindle work (integrally ornamentation in porch balustrades or as a frieze) or Classical columns which are pedestal level with the railing, which lacks the delicate, turned balusters
- Columns may be grouped together in units of two or three

Building Elements: FOLK VICTORIAN

Configuration and Techniques:

- Victorian detailing commonly appears on the porch and cornice lines
- May have decorative half-climbing towered pilasters or square posts with the cornice chamfered
- Has lace like spandrels and balusters used in porch railings and in friezes suspended from the porch ceiling

Roofs: QUEEN-ANNE

Configuration and Techniques:

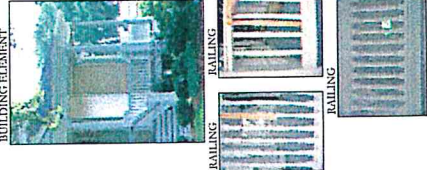
- Gables are decorated with patterned shingles or more elaborate motifs
- Main body gable or hip 10/12 secondary porches 4 or 6/12, towers 16/12

Roofs: FOLK VICTORIAN

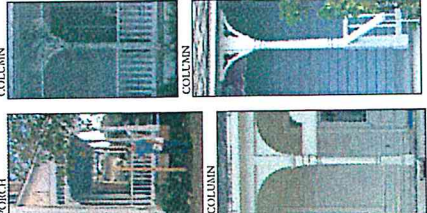
Configuration and Techniques:

- Roof-wall junction may be boxed with brackets along the cornice or open

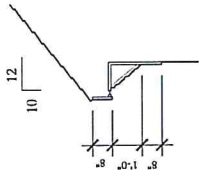
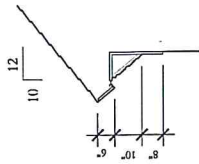
BUILDING ELEMENT



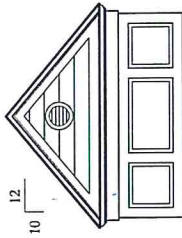
PORCH



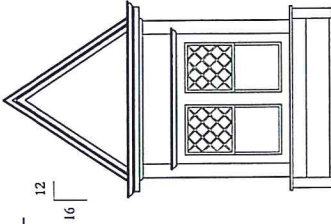
Eave/Cornice



Dormer

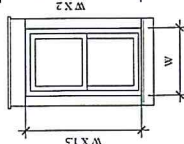
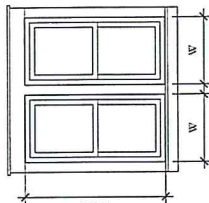
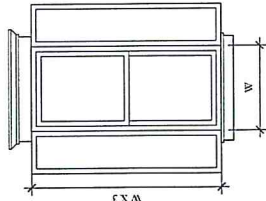
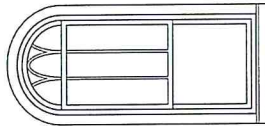


Pediment Dormer

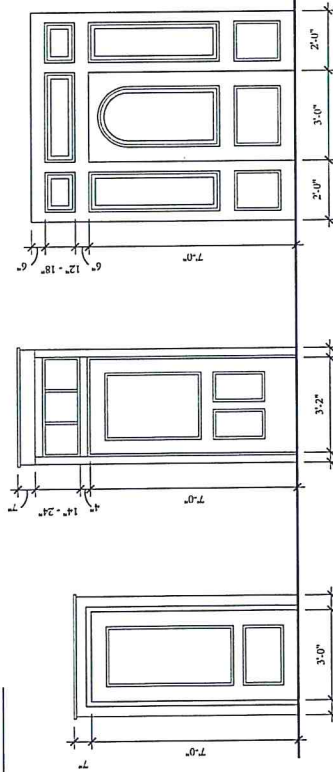


Gable Dormer

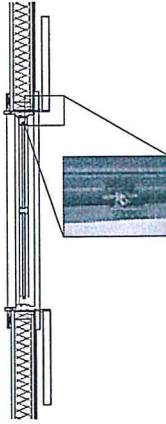
Windows



Doors



Shutters



DESCRIPTION

QUEEN ANNE

Building Elements:
Configuration and Techniques:

- May have classical details such as Palladian windows and cornice line details.

Windows and Doors:
Configuration and Techniques:

- Door and window surrounds should be simple
- Window sashes should have only a single pane of glass or it may be a single large pane surrounded by additional small or rectangular panes on one or more sides
- Doors commonly have delicate incised decorative detailing and a single large pane of glass set into the upper portion

FOLK VICTORIAN

Windows and Doors:
Configuration and Techniques:

- Window surrounds are simple and may have a simple pediment above

GABLE EAVE



DORMER



BAY WINDOW



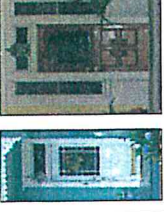
GABLE EAVE



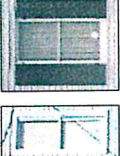
DOOR



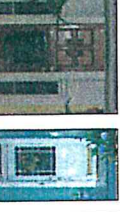
DOOR



WINDOW



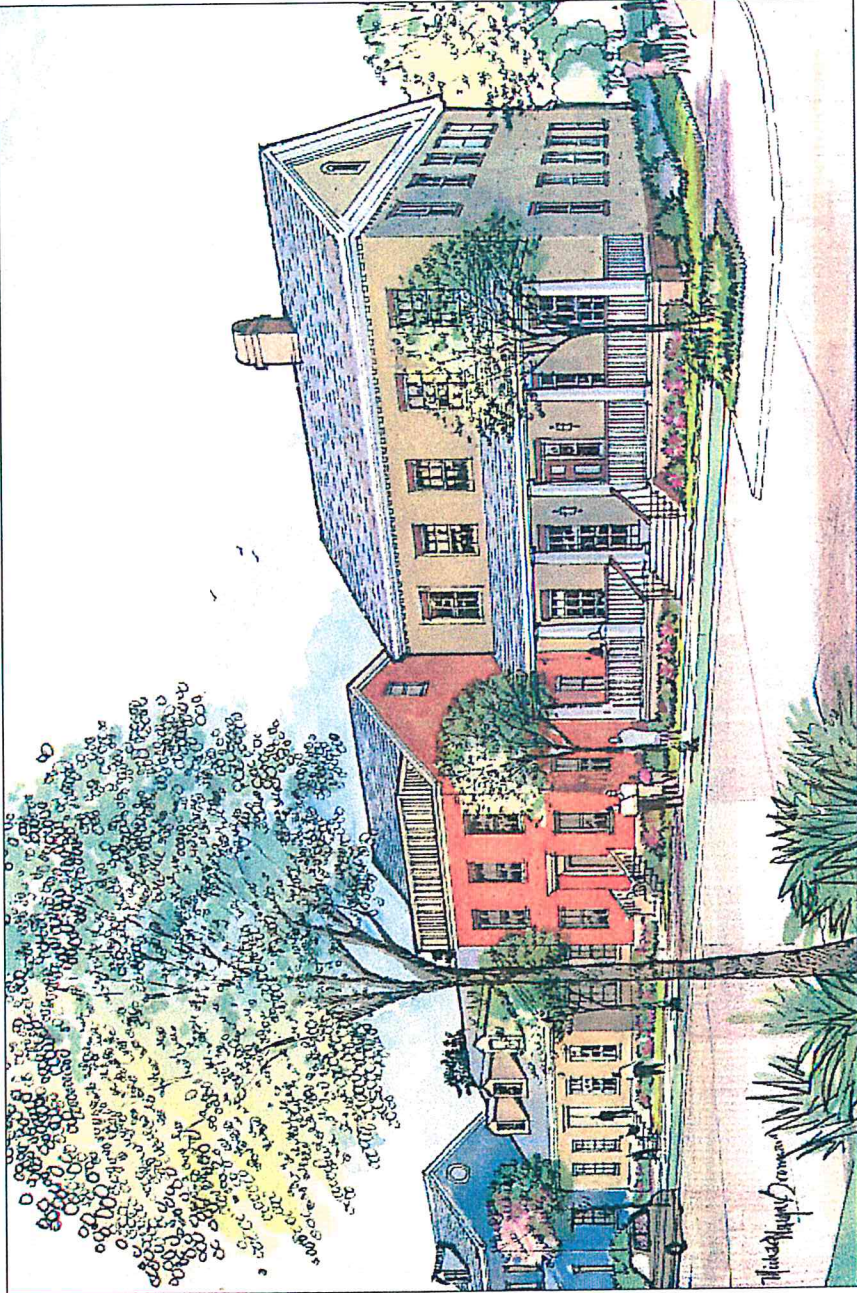
WINDOW



VINTAGE TOWNSHIP

GEORGIAN STYLE

RENDERING



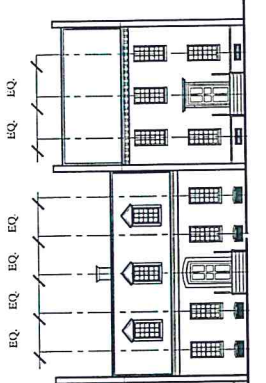
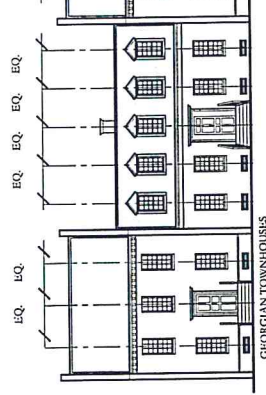
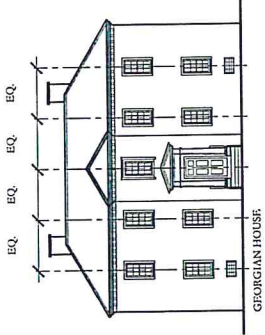
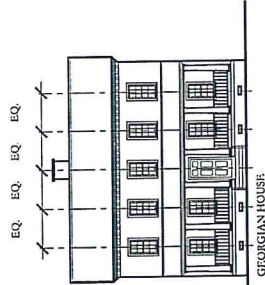
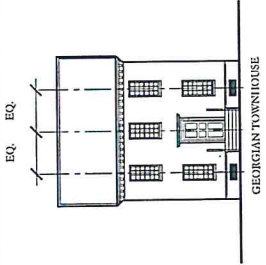
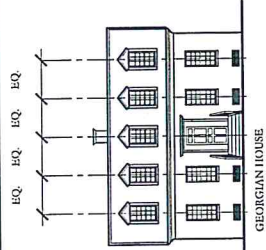
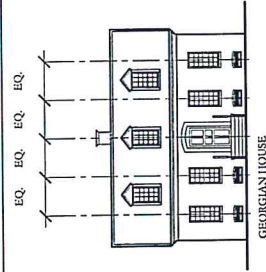
MAIN DISTINGUISHING CHARACTERISTICS

- Georgian style houses commonly have a paneled front door with a decorative crown.
- The entrance is emphasized by decorative columns with round moldings and thick wooden mantels.
- Windows are aligned horizontally and vertically in symmetrical rows.
- Georgian style houses are usually a simple one or two story, box, two rooms deep, with doors and windows in strict symmetry.

VINTAGE TOWNSHIP

GEORGIAN TYPOLOGIES

ELEVATIONS



BASIC MASSING

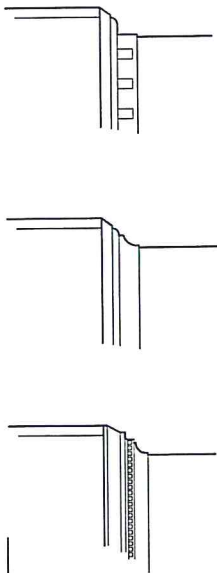
- Side gabled roof
- Hipped roof
- May be dual-pitched
- Centered pediment
- Has a gable pediment) recessed on the front facade that is either flush with the roof or extends slightly forward for emphasis as a pavilion
- Town House
- Urban house with a narrow front facade and linear plans



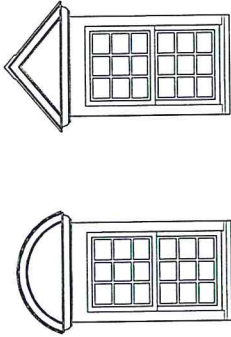
THESE DIAGRAMS ILLUSTRATE A RANGE OF POSSIBILITIES FOR HOUSE DESIGNS USING THE VINTAGE TOWNSHIP DESIGN CODE.



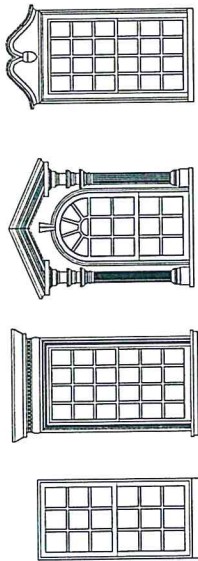
Cornice



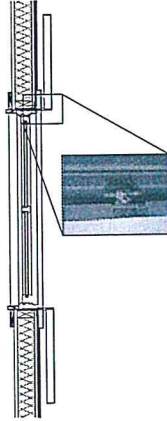
Dormer



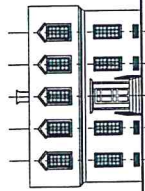
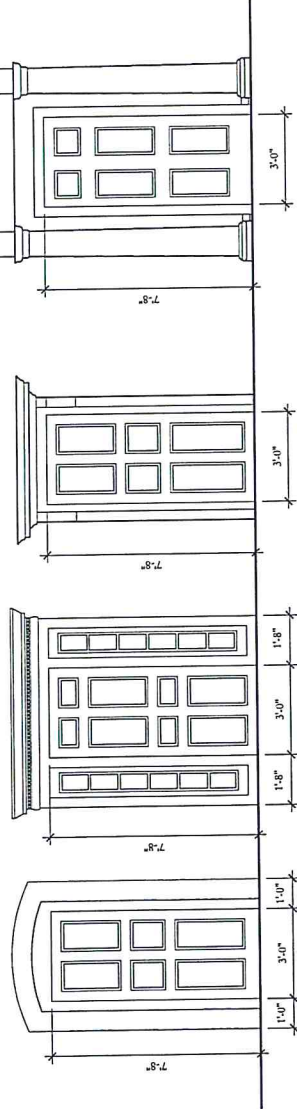
Windows



Shutters



Doors



Window Spacing

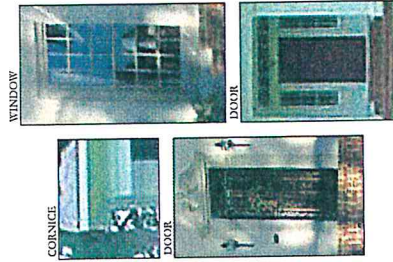
DESCRIPTION

Building Elements:
 Configuration and Techniques:
 • May have dormer

Roofs:
 • Decorative molding on cornice usually with tooth-like details

Windows and Doors:

- May have elaborate decorative crowns above the windows in wooden houses that are either a formal pediment (usually the same pattern as above the door) or a decorative molding similar to those found on Georgian cornices
 - Decorative window crowns are much less common in masonry houses, instead they have decorative moldings above the windows
 - Windows set in masonry are generally surrounded by a wooden frame
- Configuration and Techniques:**
- Painted front door, usually centered and capped by an elaborate decorative crown supported by decorative pilasters, usually with a glazed transom beneath the crown
 - Double-hung windows most commonly have nine or twelve panes per sash and thick wooden muntins
 - Double-hung windows are never in adjacent pairs, usually are five in a row on the front facade (left commonly three or seven in a row)



WINDOW

DOOR

CORNICE

DOOR

VINTAGE TOWNSHIP

GREEK STYLE

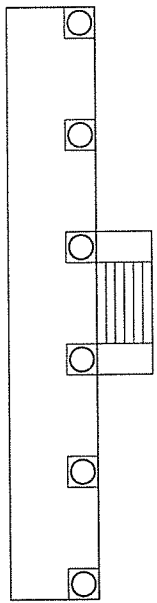
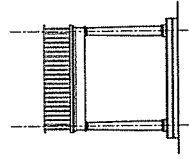
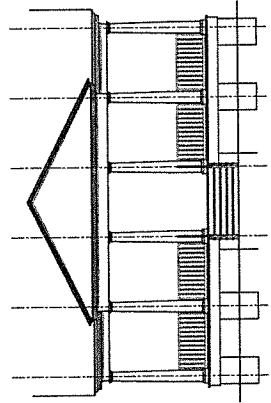
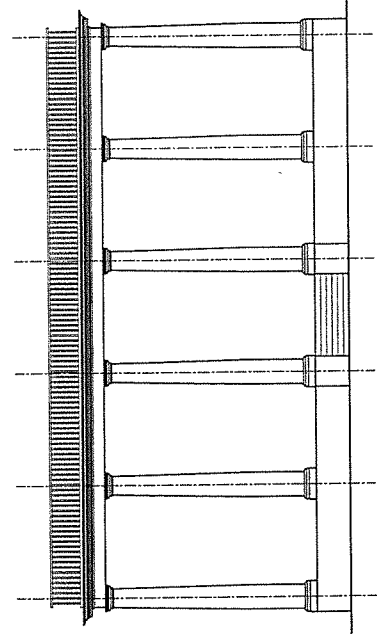
RENDERING

MAIN DISTINGUISHING CHARACTERISTICS

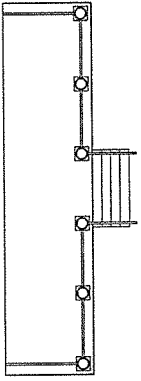
- Greek style houses commonly have either an entry porch, full height entry porch, or a porch support columns are sized proportionally to the scale of the porch.
- The front door is typically surrounded by narrow rectangular windows and a transom above.
- The roof is either gabled or hipped with a low pitch of 4:12 to 6:12.
- The cornice line is accented with a wide band of trim.



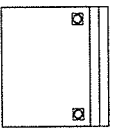
Porches



Full height and full width Porch

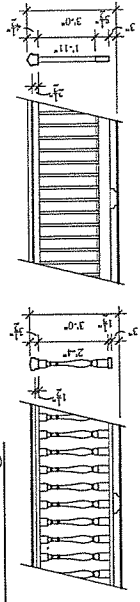


Full width Porch

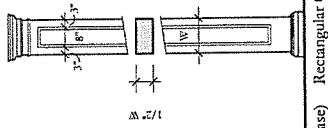
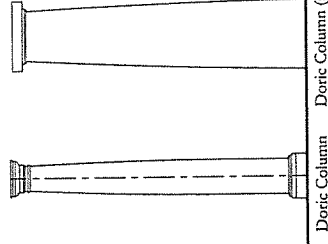
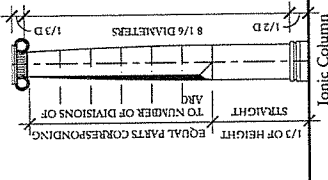


Entry Porch

Lower Railings



Columns and Pilasters



Ionic Column

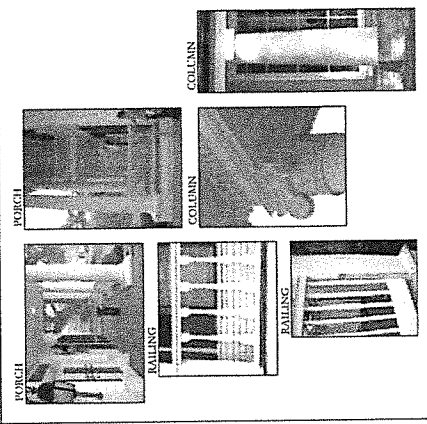
Doric Column

Rectangular Column

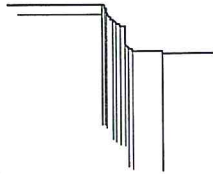
DESCRIPTION

Building Elements:
 Columns and Railings:
 - Columns are used to support the porch roof.
 - Prominent square or round columns to support porch.
 - Classical columns to support the porch roof.
 - The detail of the column may be Greek, Roman, or a vernacular adaptation.
 - Typically, Doric columns.
 - Pilasters are used on corners of frame houses or across the entire facade in lieu of freestanding columns.

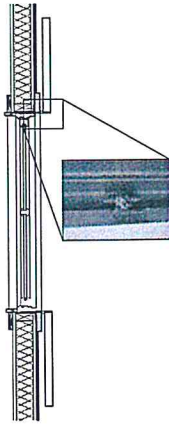
Railings:
 Configuration and Techniques:
 - Gable or hip roof.
 - Low porch roof (412 to 612).



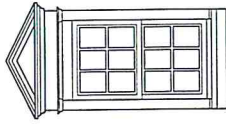
Eave/Cornice



Shutters



Dormer



DESCRIPTION

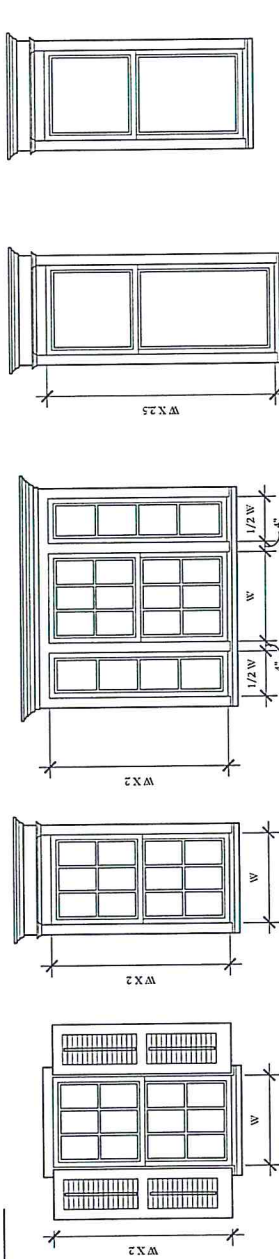
Eave/Cornice:

- Material:
- Cornice band is most commonly made of undecorated boards (it can have complex decorative details).
- Configuration and Techniques:
- Wide divided band of trim beneath the cornice of the main roof and the porch motifs to emphasize cornice lines.
- The cornice has two parts: the frieze above and the architrave below.
- The cornice may be created variously along a gabled wall.
- May have decorative brackets added to the cornice line.

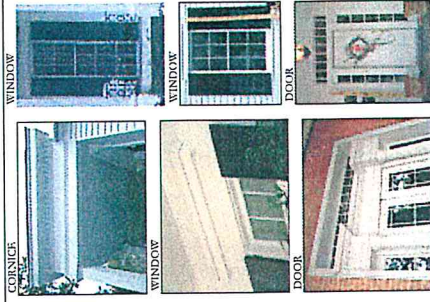
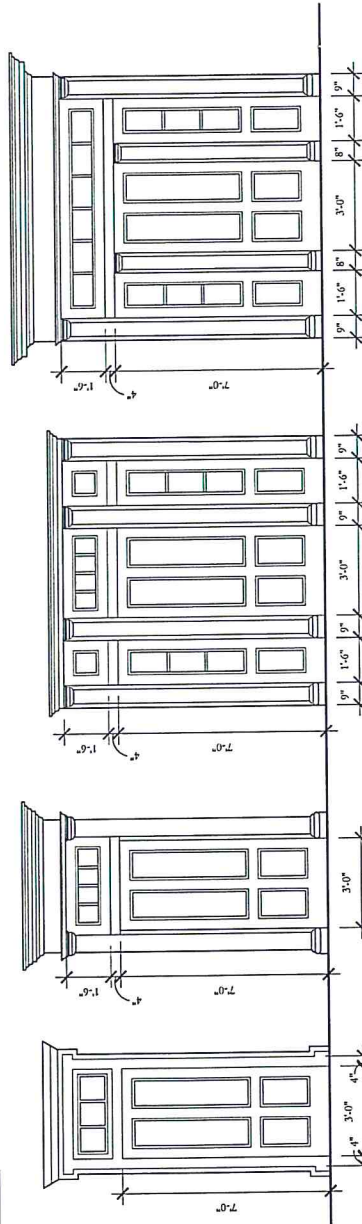
Windows and Doors:

- Configuration and Techniques:
- Elaborate door surround that includes a narrow line of transom and side lights.
- Door can be either single or paired.
- Side and top lights are rectangular panels of glass held in a delicate, decorative frame.
- The floor and the glass surround are usually incased in a larger decorative frame of wood or masonry.
- Door and glass may be recessed behind the front wall, and freestanding columns may be added to the inset portion.
- Window sashes have raised pane-fluting.
- Windows may have small freestanding windows set into the wide trim beneath the cornice.
- Window surrounds should be far less elaborate than door surrounds.

Windows



Doors



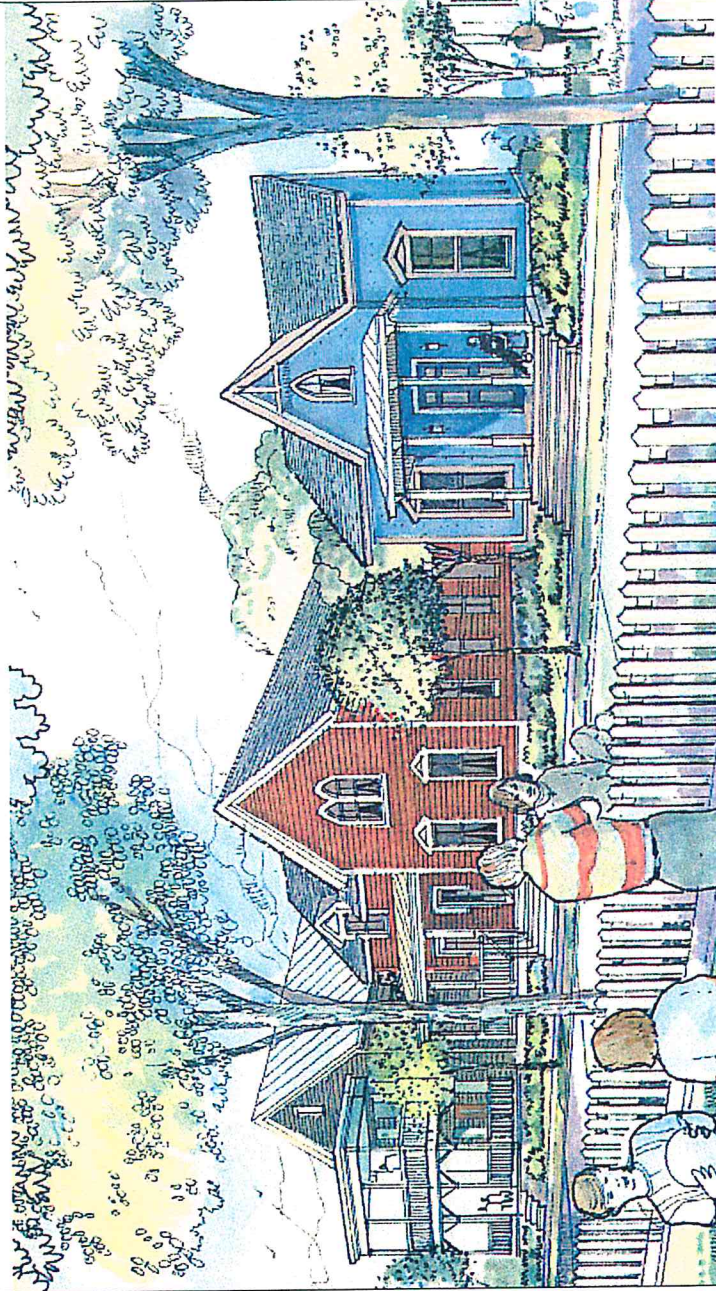
VINTAGE TOWNSHIP

GOTHIC STYLE

RENDERING

MAIN DISTINGUISHING CHARACTERISTICS

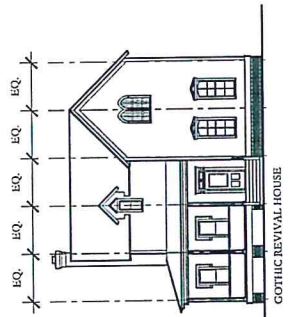
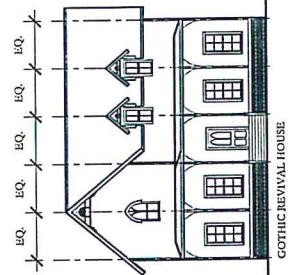
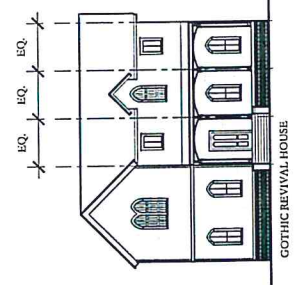
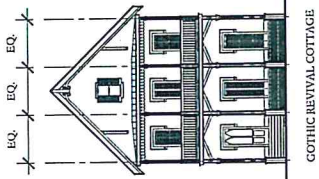
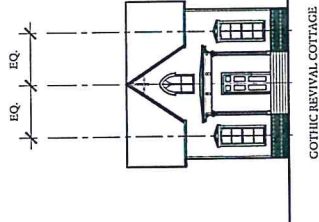
- Flatfield decorative ornamentation can be found on windows, roof-ell junctions, porches, and doors is a common distinguishing characteristic of Gothic Revival homes, but the Vintage Township Gothic Revival homes are a subdued version that is not overly-ornate.
- Steeply pitched roof (12:12 to 16:12)



VINTAGE TOWNSHIP

GOTHIC TYPOLOGIES

ELEVATIONS



BASIC MASSING

- Centered Gable: Asymmetrical house with side-gabled or hipped roof with a prominent central cross gable. The cross gable will may be flush with the rest of the facade wall or it may project forward to form a small central wing. The smaller gables on each side of the central gable may be changed so that there are three identical cross gables.
- Paired Gables: Symmetrical house with side-gabled or hipped roof with two identical cross gables. The gables may be extended forward to form two projecting wings.
- Four Gabled roof: Simple gabled roof with gable end facing forward. May have additional cross gables added to the sides.
- Asymmetrical plan with cross gabled roof in the most common. May have small secondary cross gables or gable dormers on one or more wings.
- May have square towers.
- Gabled roof: Either flat roofs with scalloped (canted) parapets or gabled roofs ending in high parapets with rather than overhanging eaves.
- May have both roof types occur on different parts of the house.
- Most common on Gothic Revival Churches and public buildings.
- Polychromed: Distinctive linear patterns in masonry wall surfaces. These decorative polychrome patterns are produced by bands of contrasting colors forming geometric patterns on the wall surfaces. The polychrome patterns mainly occur around windows and as horizontal bands on wall surfaces. Most commonly on churches and public buildings.



THESE DIAGRAMS ILLUSTRATE A RANGE OF POSSIBILITIES FOR HOUSE DESIGNS USING THE VINTAGE TOWNSHIP DESIGN CODE.

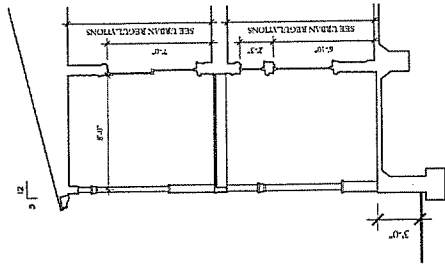


VINTAGE TOWNSHIP
LUBBOCK, TEXAS

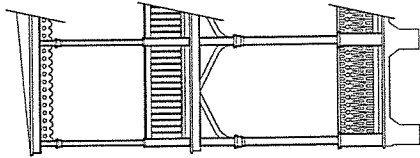
PAGE
V - 28

G O T H I C
T Y P O L O G I E S
S T E L L A R
© COPYRIGHT 2006 - ARCHITECTS SOUTHWEST

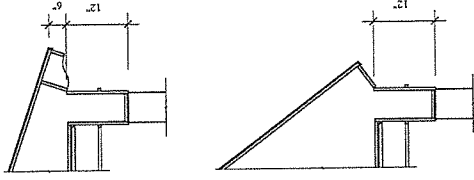
Typical Section



Porches

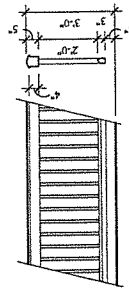


Porch Beam Sections

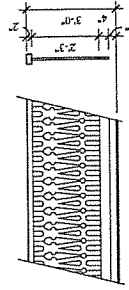


SINGLE COLUMN PORCHGO DETAIL

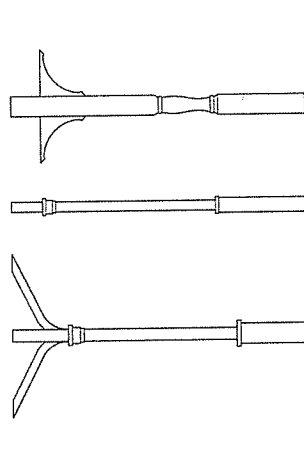
Upper Railings



Lower Railings



Columns and Pilasters



DESCRIPTION

Building Walls:

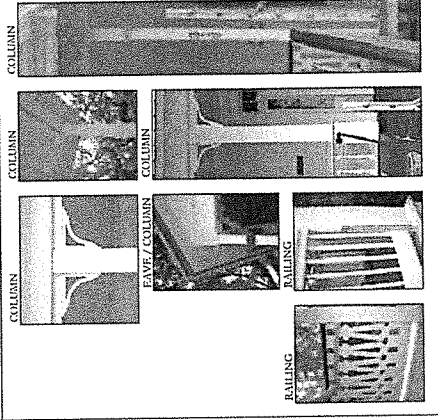
- May be wood, brick, or masonry construction
 - Wood frame Carpenter Gothic houses are covered with horizontal cladding
 - May have vertical board-and-batten siding
- Configuration and Techniques:**
- Wall surface extends into gable without break

Building Elements:

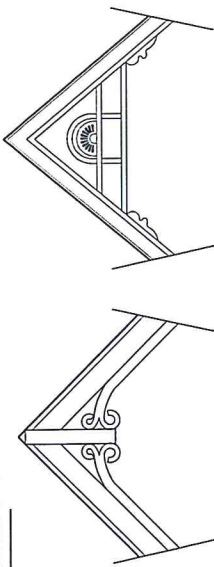
- Configurations and Techniques:**
- One-story porch (either entry or full width) supported by flared Tuslar arches is very common

Roofs:

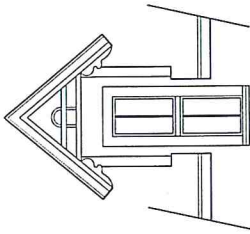
- Configurations and Techniques:**
- Secondary roof, usually with steep cross gables (12:12 to 16:12)
 - Secondary roof, usually with shallow steep hips (6:12 to 4:12)
 - Roof is normally side-gabled, less commonly front-gabled or hipped, rarely flat with enclosed parapet
 - Gables have either decorated verge boards that make an inverted V beneath the eaves of the steep gable or decorative masses at the apex of the gable



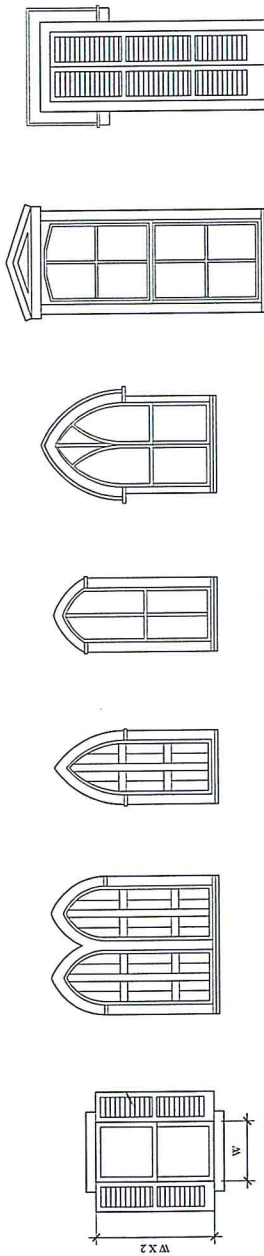
Gable Eaves



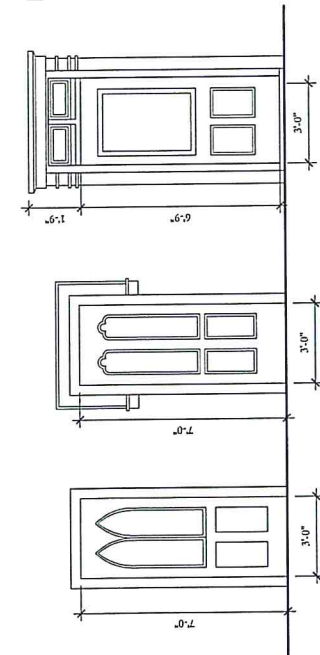
Dormer



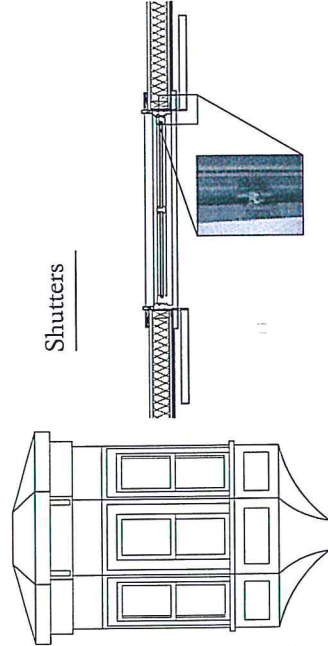
Windows



Doors



Bay Window



DESCRIPTION

Roofs:

- Configuration and Techniques
- No eave or trim beneath gable
- Open cornice with the rafters either exposed or sheathed parallel to the overlying roof

Windows and Doors:

- Windows and doors should be placed on the same level as the roofline
- Windows commonly extend into gables
- Windows usually have pointed-arch shape (Gothic shape)
- Should have at least one window with Gothic detailing
- If only one window has Gothic detailing, it should be located in the most prominent gable
- Gothic detailed windows may have a pointed-arch shape, or two or three such arches
- Pointing bay windows are common
- Common patterns can be used on or above rectangular windows to give a pointed arch effect
- Windows often have a dip-mold, both arched and square that covers the top of the window, continues downward along the side, and turns outward to protect the windows from water running down the face of the building
- Pointed arches or other Gothic motifs and decorative cornices similar to the windows
- Doors may be elaborate paneled or simple louvered

GABLE LEAVE



GABLE LEAVE



BAY WINDOW



WINDOW



WINDOW



EAVE



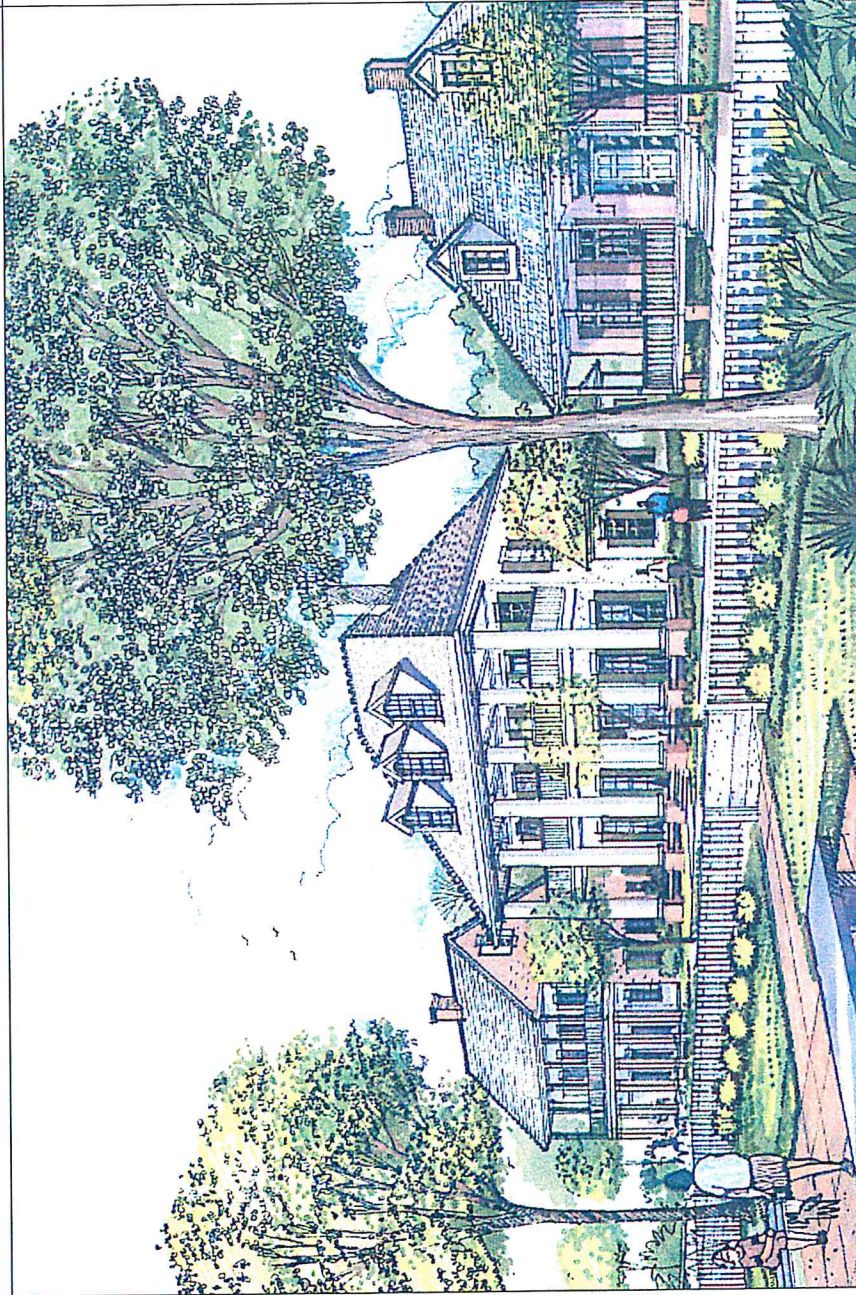
DOOR



VINTAGE TOWNSHIP

LOUISIANA FRENCH STYLE

RENDERING



MAIN DISTINGUISHING CHARACTERISTICS

- Louisiana French details are very simple, unornamental.
 - The roof is usually steeply pitched roof, either hipped or side gabled.
 - Narrow door and window openings with paired shutters are common.
 - Front door is usually a pair of French doors with 3 lights.
- Louisiana French has evolved over several hundred years. The influences can be attributed to colonial France, Acadian migration, and Creole influences. Each represents a different influence offered by their homeland climate. Steep pitches, large porches, and double doors which allow cross ventilation are characteristics which symbolize this elegant architecture.

French Colonial:

- Exposed rafter ends
- Absent center hall door
- Four openings on front elevation

Acadian:

- Exposed rafter ends
- Absent center hall door
- Four openings on front elevation

Creole:

- Exposed rafter ends
- Absent center hall door
- Four openings on front elevation

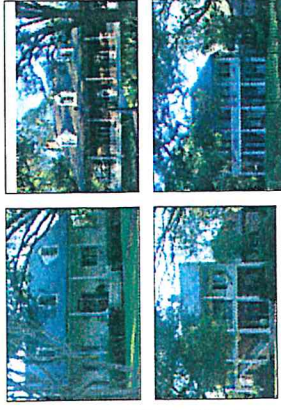
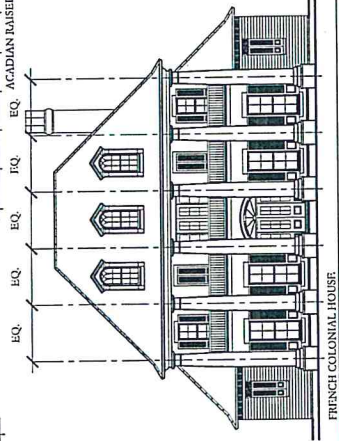
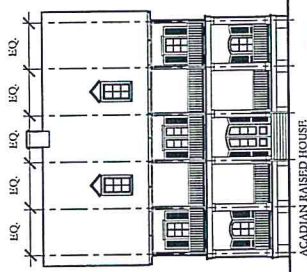
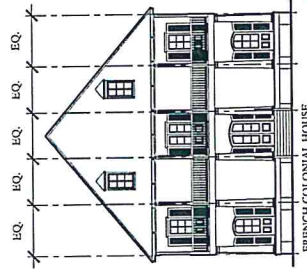
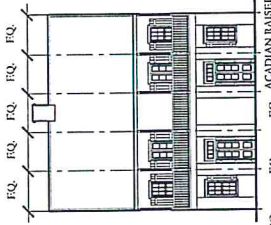
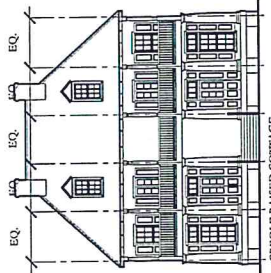
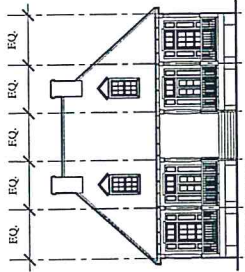
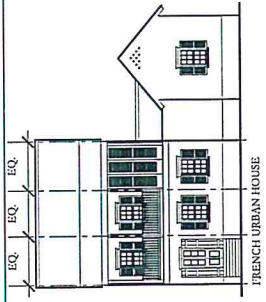
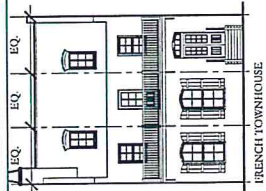
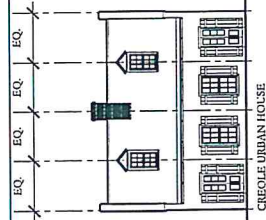
VINTAGE TOWNSHIP

LOUISIANA FRENCH TYPOLOGIES

BASIC MASSING

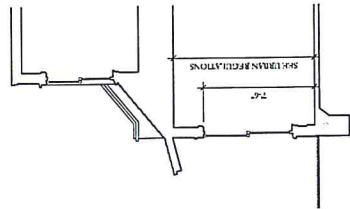
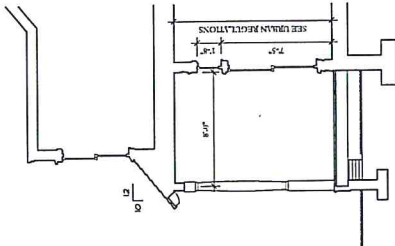
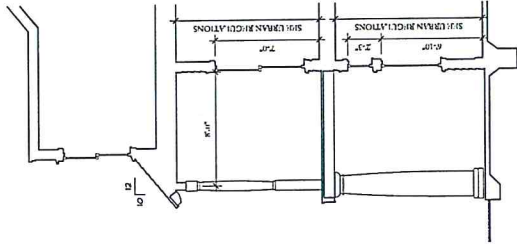
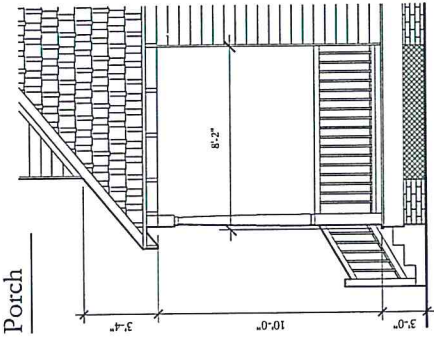
- Urban Tradition
 - Massing is built tight up to the sidewalk (townhouse)
 - The roof has flared eaves that overhang the front facade
- Rural Tradition
 - Extensive porches supported by slender wooden columns under the main roof line
 - Porches are supported by massive masonry columns
 - porch area supported by massive masonry columns

ELEVATIONS



THESE DIAGRAMS ILLUSTRATE A RANGE OF POSSIBILITIES FOR HOUSE DESIGNS USING THE VINTAGE TOWNSHIP DESIGN GUIDE.

Typical Sections

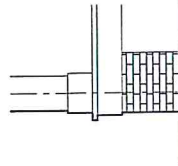


TYPICAL RAISED FRENCH SECTION

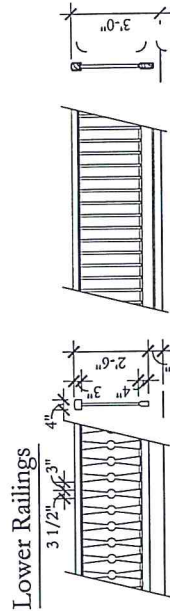
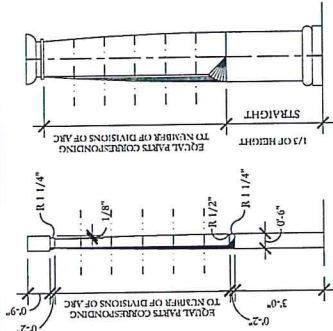
TYPICAL FRENCH SECTION

TYPICAL TOWNHOUSE SECTION

Typical Porch End Detail



Columns and Pilasters



DESCRIPTION

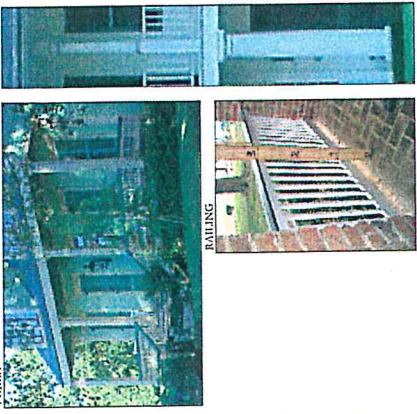
Building Elements
Construction Techniques:

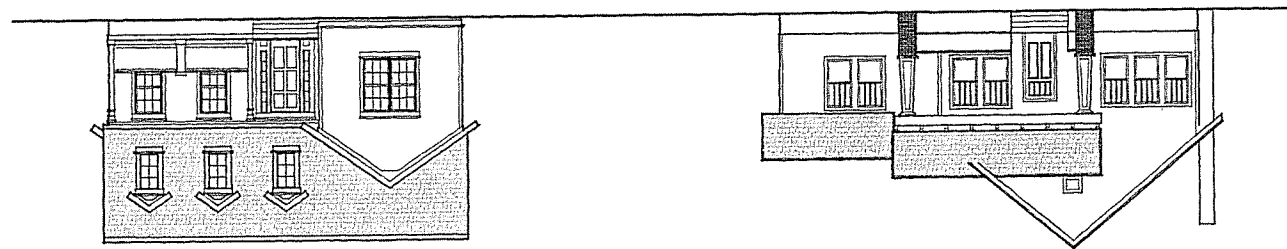
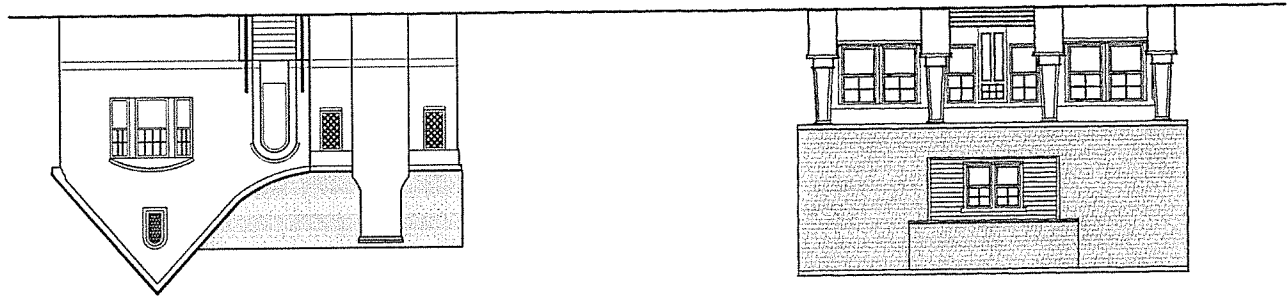
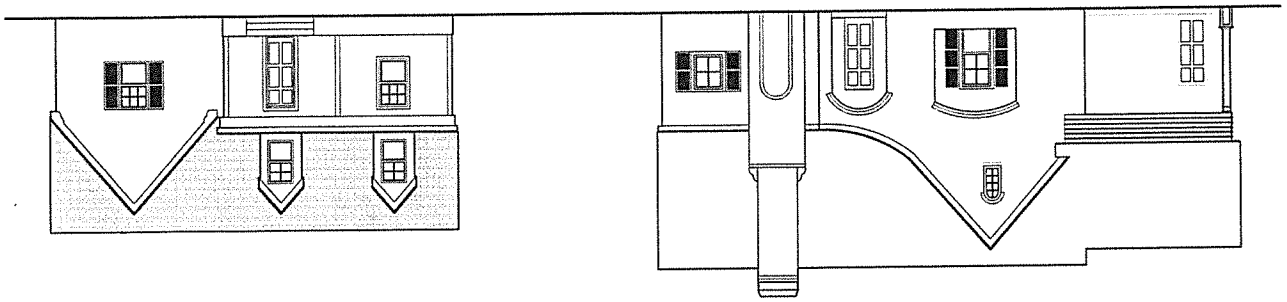
- Posts shall be no less than 12" x 12"
- Posts shall be no less than 6" x 6"

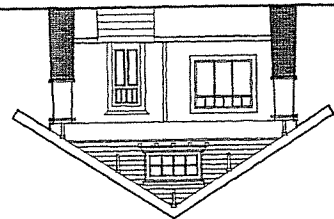
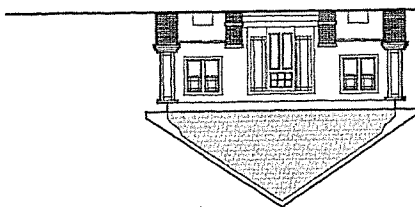
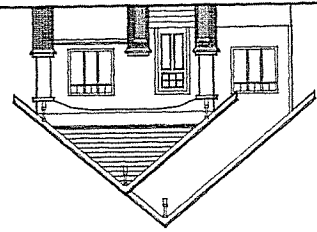
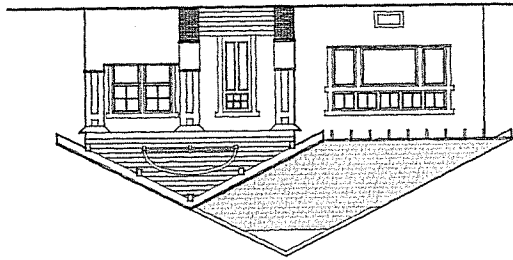
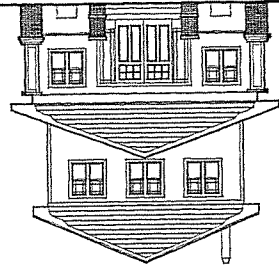
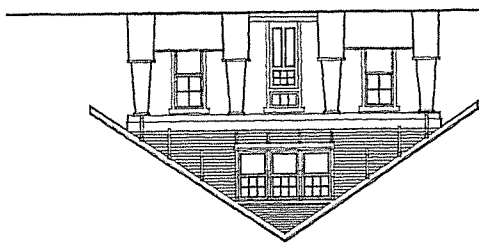
Roofs:

- Principal roof on all remaining buildings shall be symmetrical, gable, or side with a slope of 12:12. The roof shall be finished with asphalt shingles and turned lips. Where eaves meet in a party wall condition, gabled ends are allowed.
- Auxiliary roofs (attached to walls or roofs) may be sheds sloped no less than 3:12.
- Commonly have hipped roof main cabin, surrounded by a sloped roof gallery to shade the walls of the house to make optimum use of cooling breezes in the hot summer months.
- May have double-pitched hipped roof.
- The French porch is symmetrical and may be full height of the facade.
- Posts shall be no less than 12" x 12" for the front facade length, or five bay porches that wrap one or two sides. The 40 foot wide house has a five bay porch. The porch can extend beyond the main body and wrap around the sides.
- Acadian porches usually have rectangular columns without trim for one story houses and for the second story columns on two story houses. The first three columns on two story houses are more decorative than the rest.
- Bay porches are usually full height with intermediate posts for railings over 9' in length.
- Gable porches usually have turned or square columns without trim for the one story houses and for the second story columns on two story houses. The first three columns on two story houses are Doric. The proportions of the Doric columns is of particular importance. The railings can have either turned, or straight balustrades.
- The majority of French porches are of frame construction set up on masonry piers.
- The void between masonry piers may remain open without rail.

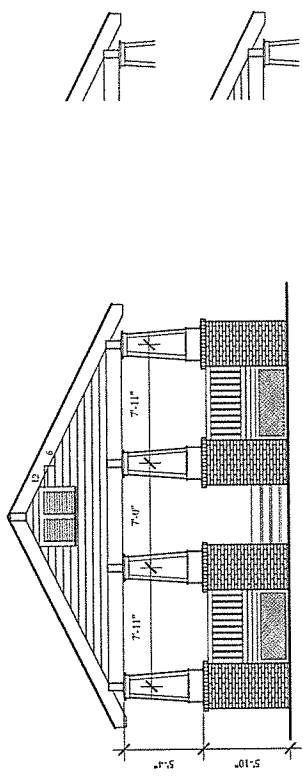
PORCH



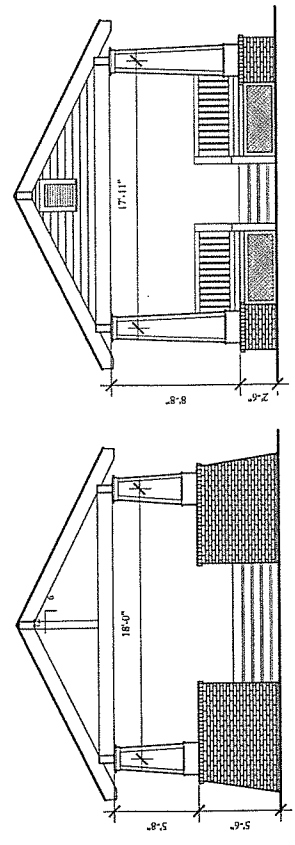




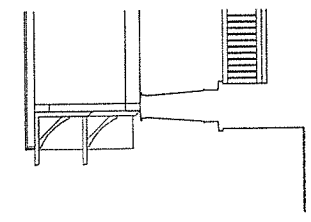
Typical Eave



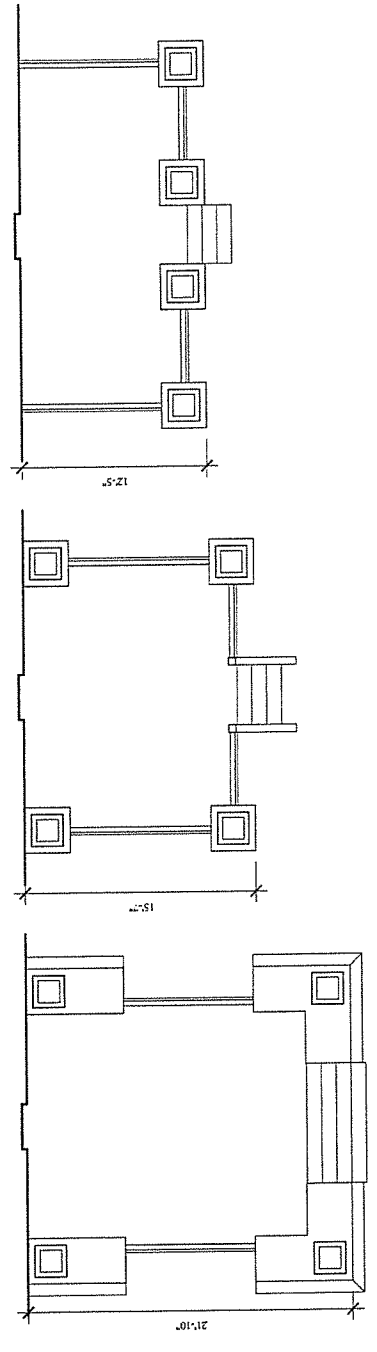
Porch Elevation



Typical Section



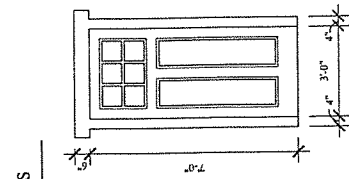
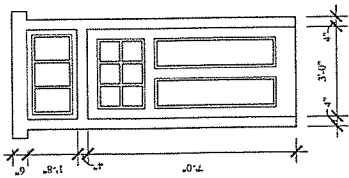
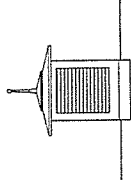
Porch Plan



Eave Detail

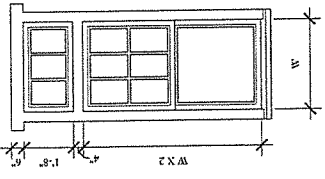
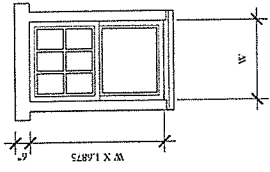
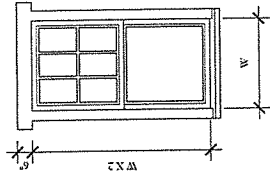
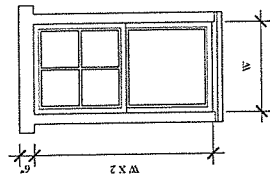


Cupola

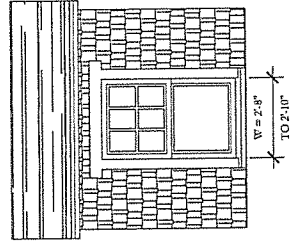
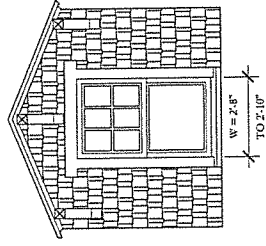


Doors

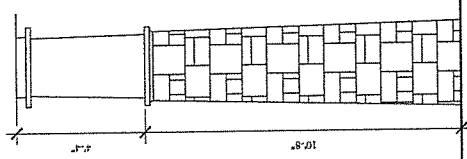
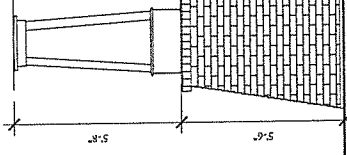
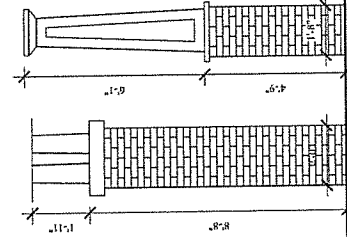
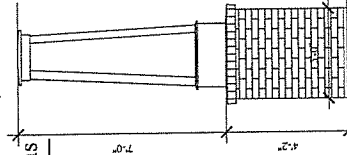
Windows



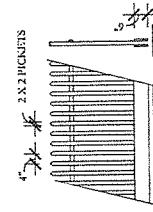
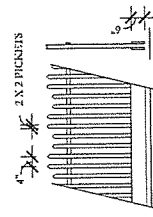
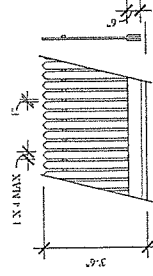
Dormer



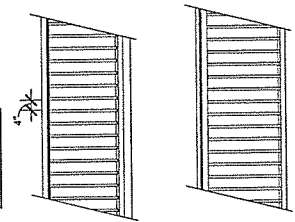
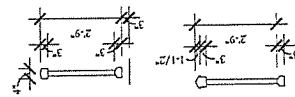
Columns

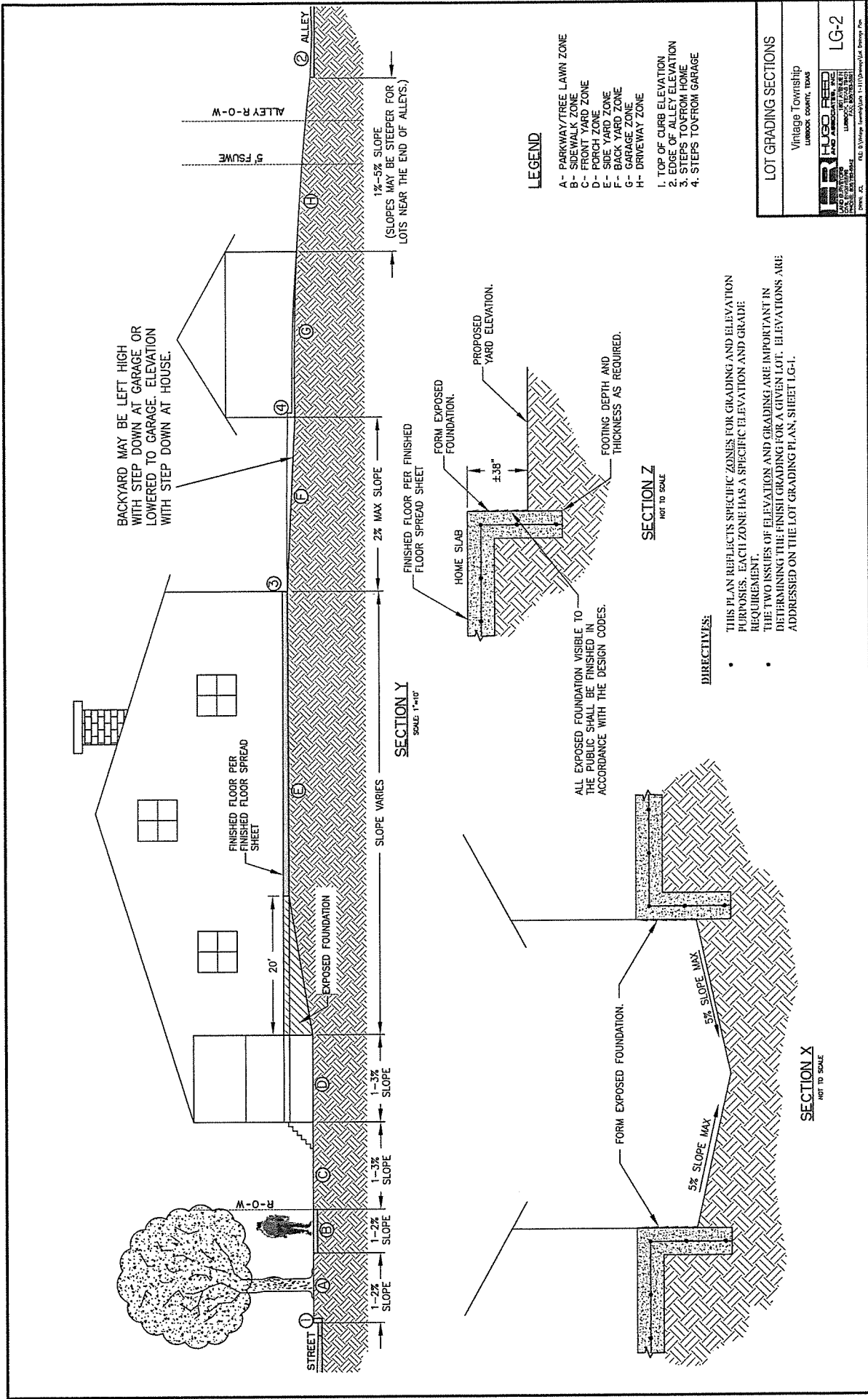


Fences



Railings







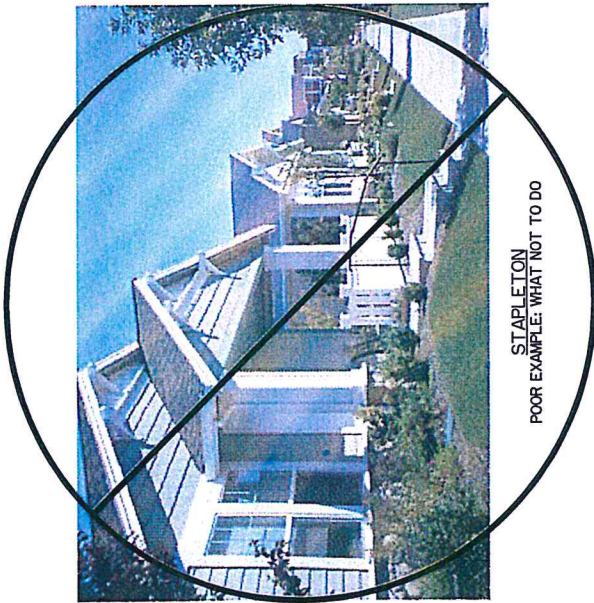
BALDWIN PARK
GOOD EXAMPLE OF A TYPICAL HOME



BALDWIN PARK
PRELIMINARY GRADING



BALDWIN PARK
PRELIMINARY GRADING



STAPLETON
POOR EXAMPLE: WHAT NOT TO DO

EXAMPLE PHOTOS

Vintage Township
LUBBOCK COUNTY, TEXAS



LG-3

DATE: 03/20/2018 11:11:00 AM



BALDWIN PARK
GOOD EXAMPLE OF A TYPICAL HOME



BALDWIN PARK
GOOD EXAMPLE OF A TYPICAL HOME



BALDWIN PARK
GOOD EXAMPLE OF A BUNGALOW COURT



BALDWIN PARK
GOOD EXAMPLE OF A BUNGALOW COURT

EXAMPLE PHOTOS

Vintage Township
Lumbocourt, Texas

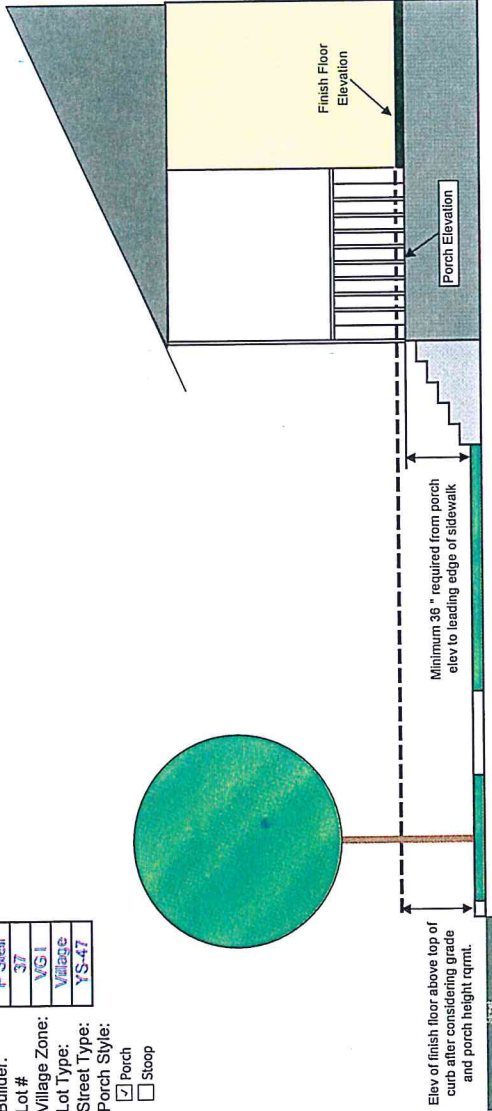
HUGO REED
LANDSCAPE ARCHITECTURE, INC.
10000 W. UNIVERSITY BLVD., SUITE 100
DALLAS, TEXAS 75241
TEL: (214) 350-1000 FAX: (214) 350-1001
WWW.HUGOREED.COM

LG-4

Vintage Township Finish Floor Height Requirements

P Steel
37
VGI
Village
YS-47

Builder:
 Lot #
 Village Zone:
 Lot Type:
 Street Type:
 Porch Style:
 Porch
 Stoop



By Street Type

Parkway	Sidewalk	Front Setback (BTL)	Porch Depth
1.00%	1.50%	1.00%	1.50%
8	5	10	8
0.08	0.075	0.10	0.12

By Village Zone & Lot Type

36
2
42 2/4

Plus elevation of porch from leading edge of sidewalk: 36

Plus elevation of finish floor above porch: 2

Total / Elevation above Top of Curb: 42 2/4

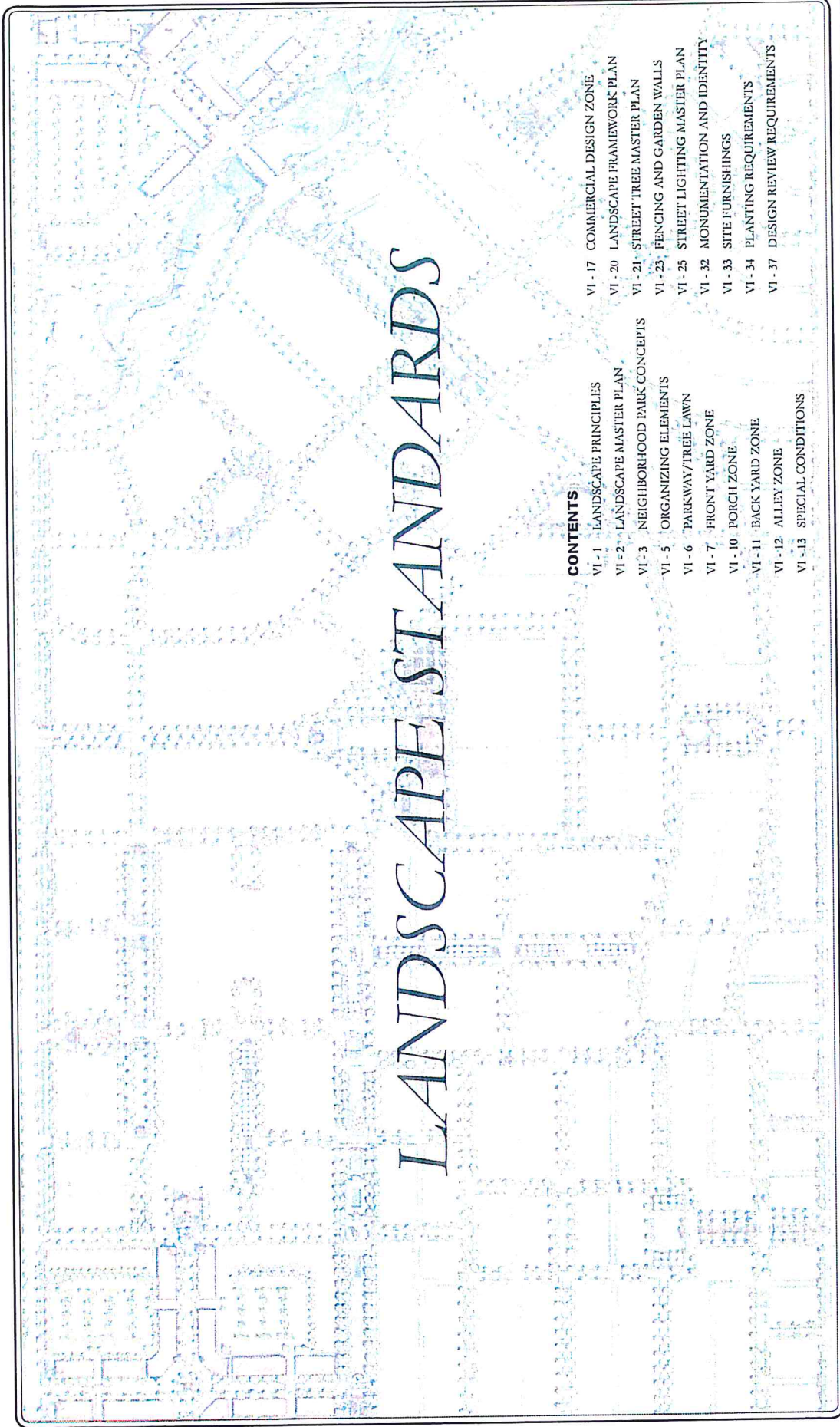
Applicable Grade:

Measurements:

Calculation:

DIRECTIVES

- Builder is to utilize the Finish Floor Elevation Calculation spreadsheet provided on the Guild Intranet
- A completed Finished Floor spreadsheet is to be submitted to the DRB
- Enter the following
 - ◆ The Urban Zone the lot is located. Example: VE II
 - ◆ Lot Type. Example: Neighborhood Large
 - ◆ Street Type as referenced in the Code. Example: YS-47
 - ◆ Whether home will have a porch or a stoop
 - ◆ Grade of front yard zone. Example 1%
 - ◆ Grade of front porch. Example is 1%
 - ◆ Depth of Porch in feet.
 - ◆ Desired height of porch above the leading edge of the sidewalk. This should be entered as inches such as 36".
 - ◆ The desired finish floor elevation above the porch elevation. This should also be entered in inches.
 - ◆ The result is the finish floor elevation above the top of curb.
- Grades
 - ◆ Parkway / Tree Lawn grade should be 1% to 2%
 - ◆ Sidewalk grade should be 1% to 2%
 - ◆ Front Yard grade should be 1% to 3%
 - ◆ Porch grade should be 1% to 2%
- Errors
 - ◆ If a grade is entered into the spreadsheet that is outside the maximum and minimum allowed, the cell will turn red and an error notice will appear.
- Recommendations
 - ◆ A copy of this Finish Floor Height Spreadsheet should be provided to all subcontractors engaged by builder to stoo grades, build the pad for the home, form up and pour the foundation and any other work which impacts the finish floor elevation of the home.
 - ◆ Many of the lots in the first phase are already at 42 inches of the curb. Therefore if the builder desires a porch elevation above the leading edge of the curb less than 42 inches plus the height of the foundation sticking up above grade, the lot will have to be cut down. For approximate elevations for your lot, ask the developer.



LANDSCAPE STANDARDS

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LANDSCAPE PRINCIPLES

Organization

The Landscape Standards are established to outline the essential landscape components and configurations that will enhance the character of Vintage Township. These Landscape Standards are broken into the following sections: Landscape Principles, Design Vision, Residential Design Zones, Commercial Design Zones, Public Landscaping, Landscape Amenities, Irrigation, Planting Requirements and Materials. The Landscape Standards ensure the quality development of a pedestrian-friendly environment. These standards will create dynamic places that support a sense of place and livability throughout the neighborhoods.

Landscape Vision

The vision is to establish standards for the design, construction, and maintenance of all landscaping in Vintage Township, which as the community matures, will create intimate outdoor rooms, promote pedestrian and recreation activity, and enhance the architecture of the built environment.

Landscape Principles

The following are principles for landscaping in Vintage Township:

- Landscaping is as important as architecture in creating a sense-of-place and a neighborhood of character.
- Landscaping should reflect and support the urban design of Vintage Township by providing structure and continuity.
- Landscaping should enhance the architecture of the built environment.
- Landscaping should enhance the pedestrian appeal of the community.
- Landscaping should be articulated with a variety of elements and styles to promote interest and character.
- Investment in landscaping will yield significant benefits in the future.
- Greater maturity of plants at the time of planting is critical to creating landscape appeal early.
- The wise and judicious use of water is important.
- Sustainability is a priority for all landscape improvements.

Design Principles

The following are general principles to utilize in the design of landscape improvements in Vintage Township:

- Continuity
- Variety
- Balance (Symmetrical, Asymmetrical, Radial)
- Scale and Proportion
- Rhythm

Landscape Character and Concept

The landscape of Vintage Township is intended to reinforce traditional building principles and reflect a sense of community inherent in the great small towns of America. Tree-lined streets, distinctive and intimate neighborhood parks, pedestrian connectivity, and the provision of needed shade is intended to create a comfortable environment that is attractive, functional, and memorable for residents and visitors.

Landscape Themes

The landscape in the public space of Vintage Township is intended to reflect a layering of designed patterns that support the concept of traditional neighborhood development. The following are overriding themes that all development within Vintage (including landscaping) will be based on:

Heritage Theme

- Where appropriate, landscaping will reflect an Americana, Texan, and Lubbock heritage.
- Concepts having to do with the American Identity and History are important to both reinforce and celebrate.
- Texas heritage is something that likewise can be accentuated in various ways.
- Lubbock's heritage as an agricultural, educational, and medical community along with other aspects of our rich past should be highlighted and emphasized where appropriate.

Christian Faith Theme

- Lubbock's culture has long been influenced by its Christian faith. Such faith has directed its citizens and the direction of the city from its inception.
- Christian oriented principles and teaching are encouraged to be integrated into designs throughout the community where appropriate.



Vintage Township ascribes to the principles of a Traditional Neighborhood Development. This requires walkable streets and places for community interaction.

ORGANIZING ELEMENTS

One way that the vision for Vintage Township will be realized is through careful planning and implementation of time-tested principles. The public domain—the street, the park, the neighborhood—can be seen as a system of horizontal and vertical layers that create a legible system of spaces that establish community character.

Horizontal Layering

Residential landscape design must embody the three social realms used to organize space: semi-private, semi-public, and public. The landscape in these social realms enhances the streetscape and provides pedestrian-friendly and comfortable urban environments. Vintage Township landscapes shall be designed in organized layers to provide a clear distinction between public, semi-public, and semi-private space. Although the streets are highlighted in this description, this approach applies to alleys as well.

Public Realm

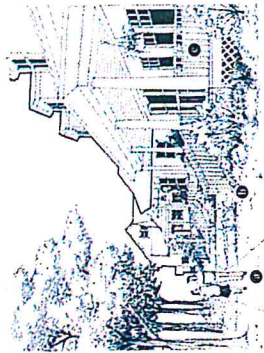
The first horizontal layer begins at the curb and includes the sidewalk and the tree lawn. Fronted by residential dwellings, this layer extends the length of each block and provides continuity within the streetscape.

Semi-Public Realm

The second horizontal layer is the transition zone between public and semi-private space. This zone begins at the back of the sidewalk and extends to the base of the porch and back to the fence or wall between dwellings. Here, the front yard—lawns, plant beds, fence and wall—establish privacy boundaries.

Semi-Private Realm

The private realm is defined by the front edge of the porch and the face of the building. Slightly raised above the sidewalk elevation and comfortably set back, this semi-private space allows for pots, hanging baskets, window boxes, and private outdoor furnishings.



Transition from public space to semi-private space.
a. Public b. Semi-Public c. Semi-Private

Vertical Layering

To support the urban density of Vintage Township neighborhoods, vertical layering will help shape the public realm and enhance the pedestrian environment. Consideration shall be given to vertical layering on the following three levels:

Overhead Elements

Large trees provide spatial structure and shade. Their canopies provide a sense of enclosure within the public street and create the framework for smaller “garden rooms” of ornamental trees and shrubs.

Eye-Level Elements

This second layer adds color and human-scaled definition with shrubs, hedges, walls, fences, hanging plants, and borders. These elements help transition the house to the ground, separate public and private spaces and direct and welcome visitors into the home.

Ground-Level Elements

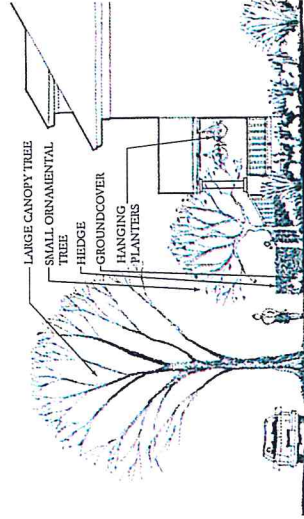
Ground-level elements include groundcover landscaping and paving. These elements should support the building architecture and frame private entrances. Organize these elements to support urban landscape patterns that tend to be more orthogonal, respecting the edges of the home, porch, sidewalk, and property lines. Ground level elements consist of plants, special paving, and potted plants to define entry ways.



The use of groundcover, hedges, and hanging planters supports vertical layering.



Horizontal Layering



Vertical layering helps define the outdoor space.

PARKWAY/TREE LAWN

Definition

The Parkway/Tree Lawn Zone is the area between the right-of-way/property line and street curb along all front or side yards. This zone is typically located in public right-of-way and is not part of the lot (verify unique conditions with Final Plat). Landscape design in the Parkway/Tree Lawn Zone is predetermined by the Master Developer and is illustrated on the Street Tree Master Plan. Trees within the Parkway/Tree Lawn will be installed by the Master Developer. Maintenance of the Parkway/Tree Lawn Zone will be the responsibility of the adjacent landowner, unless otherwise noted on the Street Tree Master Plan. Any modifications in the Parkway/Tree Lawn Zone shall be subject to approval of the Design Review Board (DRB).

Street Tree Program

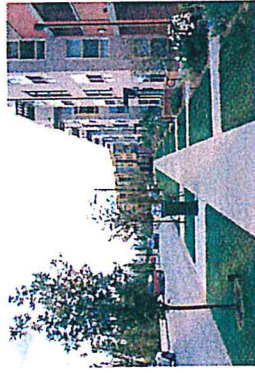
Shady tree-lined streets are a fundamental component of Vintage Township's character. Trees shall be included in all parkway/tree lawns, evenly spaced and coordinated with street lighting and signage. All street trees shall consist of a single trunk, with canopy at maturity not less than 7'0" above grade. A Street Tree Master Plan is included in the Landscape Design Standards. This plan identifies preferred species that support traditional neighborhood streetscape and enhance community character. Refer to Street Tree Master Plan specific requirements for Parkway/Tree Lawn landscape design.

Street Tree Type and Spacing

The actual species and typical spacing of street trees is identified for all streets on the Street Tree Master Plan. Installation of street trees shall be coordinated with the Paved Lot Improvements. Spacing adjustments may be required for coordination of utilities, street lights, fire hydrants, and driveway or alley locations.

PARKWAY/TREE LAWN REQUIREMENTS:

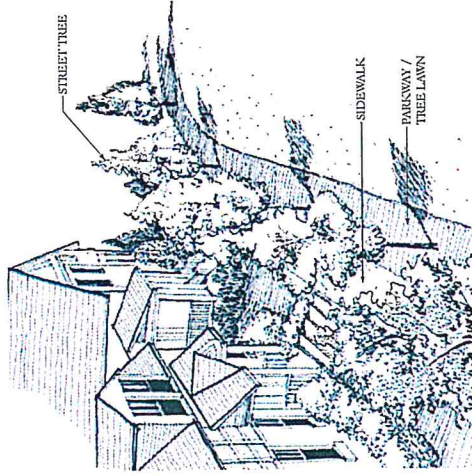
- Street tree plantings are required along all public streets. Provide street trees aligned in rows, parallel to the curb and centered in the parkway/tree lawn.
- Street tree spacing should be a minimum of 25 feet on center (O.C.) with the following minimum sizes at installation:
 - Boulevard and Main Streets 6" caliper
 - Collector Streets 4" caliper
 - Local Streets 4" caliper
 - Alleys 2-1/2" caliper
- Plant tree lawns with sod.
- Align tree spacing to accommodate driveways and street lights.
- Provide mulch rings at all trees 3' diameter



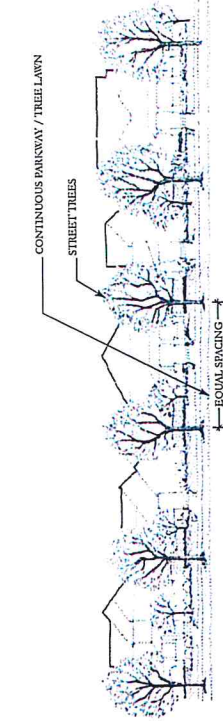
Parkway tree lawn transitions from the public to private realm.



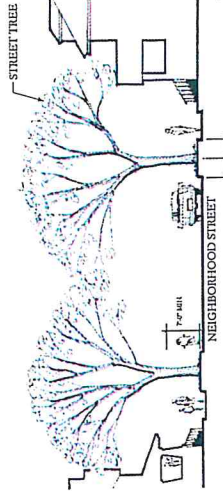
Street trees separate pedestrians from vehicular traffic.



Street trees planted in the parkway/tree lawn are parallel to the curb and centered.



Regular placement of street trees unifies neighborhoods



Canopy trees on both sides of the street frame and enhance the streetscape

FRONT YARD ZONE - GENERAL

Definition

The Front Yard Zone includes all landscaped areas between the right-of-way/property line and the foundation of the house, including the area on the side of the house up to the fence return. On corner lots with a side yard that faces the street, the landscaped area between the sidewalk and the face of the garden wall or fence shall be treated in the same manner as the Front Yard Zone.

Front Yard Planting Conditions

Due to its visibility from the street and neighborhood, the Front Yard Zone is the most important in terms of design. It must be compatible with and of comparable quality to all the other front yards on the same block. While individuality is encouraged, the Front Yard Zone should be thought of in the larger neighborhood context and not just for the individual lot.

Landscape design, installation, and maintenance in the Front Yard Zone is the responsibility of the Builder or homeowner and must be installed prior to initial occupancy of the home by the Homeowner. Maintenance in the Front Yard Zone is the responsibility of the Homeowner.

Plant materials in the front yard will be guided by functional criteria that vary with respect to differing lot conditions. Front yard landscape plans shall be designed by a landscape architect and approved by the DRB. Landscaping can be achieved using a combination of the following planting design approaches:

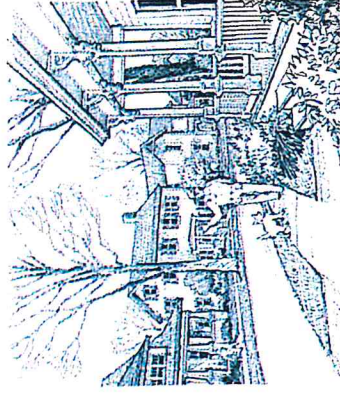
- Screen Planting
- Blended Planting
- Foundation Planting
- Turfgrass Planting
- Enhanced Planting

Front Yard Planting Requirements

The front yard landscape design shall include strong simplistic compositions with a minimum of three (3) and a maximum of ten (10) different shrub and groundcover species. As a minimum, the density of planting in front and side yard landscape shall be one plant per ten (10) square feet of actual plantable area (excluding turf areas). In general, the landscape design of the Front Yard Zone should support the Vintage Township Design Principles. It should have a well-designed simplicity instead of a disorderly mix of plant materials. Medium height blended or screen planting shall buffer and provide separation along side yards.



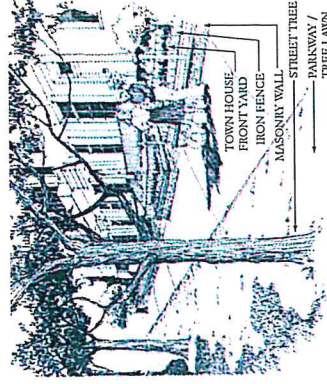
Front yard planting conditions.



Front yard planting zone.



Example of low wall to separate the public and semi-public realms at Townhouses



SINGLE-FAMILY HOME REQUIREMENTS:

Landscape requirements for detached Single-Family Homes at Vintage Township provide planting standards that complement the broad mix of housing types. The landscape for these lot types reinforces the neighborhood character through street tree patterns and enhances homes through front yard landscaping.

- Entry Walk..... 5' wide
- Turfgrass..... 55%
- Shrubs..... 15% min.
- Groundcover/Perennials..... 25% min.
- Ornamental Trees..... 1 per lot min.
- Fence..... Wood picket or wrought-iron
- Short Wall..... Masonry base and columns

TOWNHOUSE REQUIREMENTS:

The careful design and delineation of public, semi-public, and private spaces are key to the success of the higher-density townhouses at Vintage Township. Front yard gardens can help connect these taller buildings to the streetscape.

- Entry Walk..... 5' wide
- Turfgrass..... not required
- Shrubs/Groundcover..... 50% average min.
- Trees..... not required
- Fence/Wall..... Wrought-iron or low masonry

PAGE

VI-7

VINTAGE TOWNSHIP

LUBBOCK, TEXAS

EDAW

03.23.06

RESIDENTIAL DESIGN ZONES

STELLAR

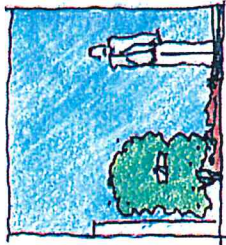
© COPYRIGHT 2005 · EDAW

FRONT YARD PLANTING APPROACHES

Screen Planting

The screen planting approach provides a landscape buffer in front of fences, walls, or building foundations in order to soften large exposed hard lines in the landscape. Screen planting can also be utilized to provide privacy adjacent to public spaces, delineate areas of different uses, and/or create organizing elements in the design of outdoor spaces. Screen planting is normally achieved through a regular spacing of shrubs or small trees to form a hedge and with vines that attach to the wall or fence. Spacing is dependent upon type of materials used but materials shall be selected to form a continuous hedge (touching each other) within three (3) years after planting.

Screen planting is required adjacent to all side yard fences, exposed building foundations and at large un-articulated building walls or garden walls. All plant beds shall be a minimum of two (2) feet wide.



SCREEN PLANTING

-REQUIRED FOR SCREEN BARE WALLS AND PRIVATE ZONES.

-VINES FOR SCREENING.

-LARGE AND SMALL SHRUBS



Example of screen planting.

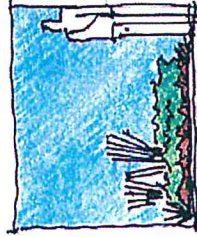


Example of screen planting.

Blended Planting

Blended planting includes formative mass plantings of complementary ornamental trees, shrubs, grasses, and/or groundcovers that cover large areas and provide a variety of texture and color. This landscape approach combines primarily small and medium plant materials with accent plants for contrast. Plant spacing is determined by species but will be required to fill in over time to appear as a mass of planting with few or no gaps within three (3) years after planting. Blended planting may be used to transition from one lot to another by coordinating bed layouts and materials selection to form a composition that encompasses more than one lot.

Blended planting is required where two adjacent lots have beds that extend to the sideyard lot line. All plant beds shall be a minimum of three (3) feet wide.



BLENDED PLANTING

-MASS PLANTINGS OF TREES, SHRUBS, GRASSES, AND/OR GROUNDCOVERS.

-SMALL SIZES OF PERENNIALS, MEDIUM AND

-LARGE GRASSES MAY BE USED IN FOREGROUND /

-STREET SIDE IN LIEU OF SHRUBS.

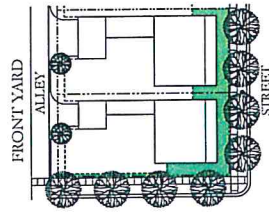
-COORDINATE WITH ADJACENT LOT FOR LARGER PLANTING AREA.



Blended planting can be used as a screen/buffer.



Blended Planting provides a variety of shapes, textures, and colors to enhance the street edge.



FRONT YARD PLANTING APPROACHES

Foundation Planting

Foundation planting shall be composed of medium, or medium and small shrubs (layered) that are planted at a regular spacing parallel to, or along the line of the building foundation. Foundation planting helps to anchor or transition the building to the site and often hides unattractive building details just above the finished grade. Plant spacing varies with the type of materials selected but will be required to fully screen exposed foundations within three (3) years after planting.

Foundation planting is required along the front foundation or porch lattice edge of each building and shall wrap around corner to fence or ten (10) feet from building corner, whichever is greater. All planting beds shall be a minimum of three (3) feet wide.

Turfgrass Planting

Turfgrass planting is simply the use of turf type, sod forming grasses in the yard. All front yards and parkway tree lawns shall be required to use the same type of turfgrass in order to create a consistent appearance in the street edge.

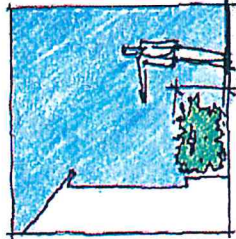
Turfgrass for parkways and front yards shall be turf-type Tall Fescue as shown in the Approved Plant Palette.

Turf areas shall be a minimum of six (6) feet wide and ten (10) feet long and clearly defined by concrete or other flat masonry border. Wood, sculpted and plastic borders are not permitted.

Enhanced Planting

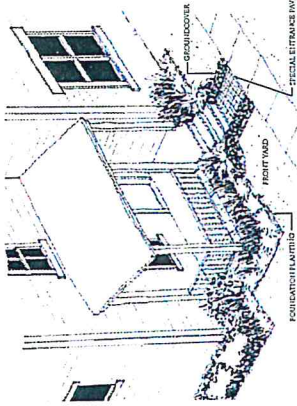
Enhanced planting consists of an upgraded palette of landscape materials, often used in conjunction with an enhanced architectural or hardscape element, in an arrangement that provides a higher level of visual interest and focus than elsewhere in the community. Specimen trees, shrubs, ornamental grasses having unique form, texture, and/or color shall be used in a designed composition. On signature lots, garden wall fence materials and landscape plants selected for visual interest consistent with a signature element, as required by the land plan.

Enhanced planting is required in significant areas such as at community entries and visual terminals of key streets and on lots designated as Signature and Gateway lots on the Opportunities and Constraints Plan in the Vintage Township Master Plan.

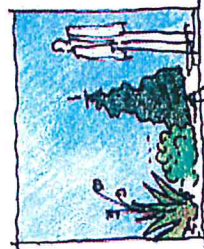


FOUNDATION PLANTING

REQUIRED ADJACENT TO FOUNDATIONS. MEDIUM SIZED SHRUBS SPACED NOT LESS THAN 2 FT. O.C. TO FULLY SCREEN BUILDING FOUNDATION. PLANTS TO BE A MINIMUM 5 GAL. SIZE AT TIME OF INSTALLATION.

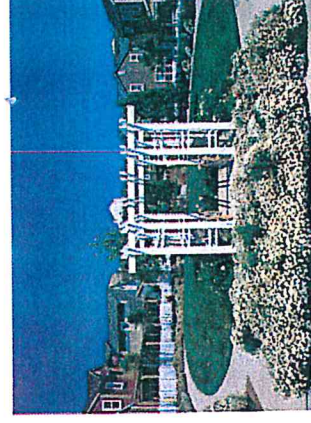
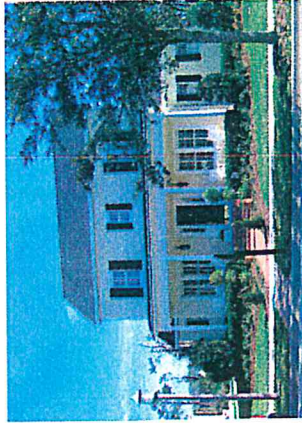


Enhanced Planting creates a transition from building to ground.



ENHANCED PLANTING

FOCAL PLANTING USES A VARIETY OF ORNAMENTAL TREES SHRUBS AND PERENNIALS. GROUNDCOVERS AND/OR ANNUALS TO ACHIEVE VISUAL INTEREST.



PORCH ZONES

Definition

The Porch Zone includes all parts of the building that are not fully enclosed and are visible to the street. Landscape enhancements in porches shall be installed and maintained by the Homeowner.

PORCH REQUIREMENTS:

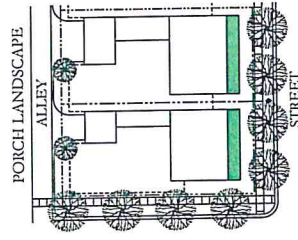
Planting on the porch, in pots, or in rail and window boxes, is encouraged at Vintage Township. Seasonal plantings shall consist of annuals and/or perennials. Containers shall be compatible with the architectural style and color of the building.



Hanging plants and outdoor furniture provide comfortable semi-private space.



Window boxes and pots enhance street edge.



BACK YARD ZONES

Definition

The Back Yard Zone includes all areas that are beyond the prescribed building and fence setbacks and are enclosed by rear and side yard fences or garden walls. Landscape in the Back Yard Zone shall be installed and maintained by the Homeowner.

Back Yard Conditions

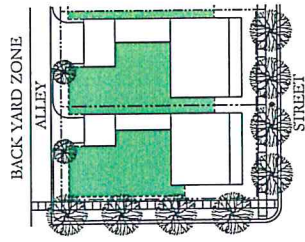
Back yard landscaping must be installed within nine (9) months after initial occupancy of the home. All materials that exceed or will grow higher than the fence/garden wall must be selected from the Approved Plant Palette found in this document and are subject to the approval of the DRB. Likewise when a fence is permeable and the back yard is visible to pedestrians and therefore impacts the public domain, all landscaping in such an area will be subject to the prior approval of the DRB. Provided that a fence or garden wall is present and the landscape design for the back yard complies with these requirements, no further review by the DRB is required for landscaping in the back yard.

BACK YARD REQUIREMENTS:

Back yards shall be fully landscaped and irrigated. Except for plants and other materials that can be viewed over or through the fence, and except for materials not permitted by state and local law, back yard materials and design are at the discretion of the homeowner.



Back yard plants that grow above fence shall be from the Approved Plant Palette.



ALLEY ZONE

Definition

The Alley Zone includes the areas between the alley pavement and the rear garden wall, fence, or other structure. Part of the Alley Zone is in the public right-of-way and the rest is on the private lot. Landscape design and installation in the Alley Zone is the responsibility of the Builder and shall be installed prior to initial occupancy by Homeowner. Maintenance of all landscaping in the Alley Zone is the responsibility of the Homeowner.

Alley Planting Type and Spacing

Tree planting is not allowed within the five foot right-of-way portion of the planted strip. Screen or Blended planting arrangements are required in the area between the alley right of way and the rear garden wall, fence or other structures. See front yard planting approaches for description of these landscape types. All landscaping (including concrete, gravel, or rock) which could be used to park on is strictly prohibited in the alley zone.

Requirements

A minimum of one (1) tree per lot is required in the Alley Zone. The center of the tree must be planted a minimum of seven (7) feet from the edge of the alley pavement. Due to space limitations in the alley, trees shall be limited to those approved for use in the alleys as listed in the Approved Plant Palette.

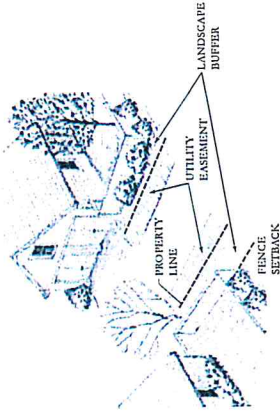
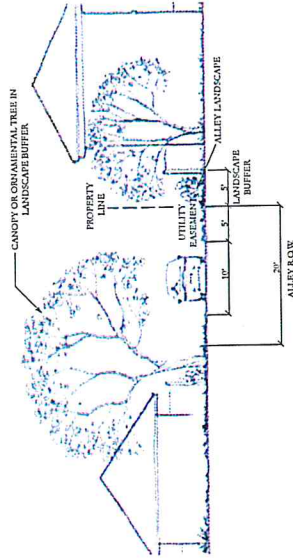
Planting beds shall be a minimum of three (3) feet wide continuous along the rear yard fence and providing screening of utility structures as permitted by the utility companies.

LANDSCAPE BUFFER REQUIREMENTS:

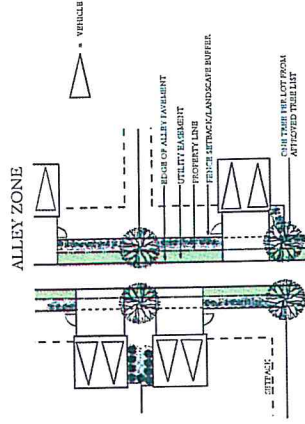
- Plant the utility easements and adjacent lawn areas with bermuda grass (no other grass is allowed without DRB approval). Plant remaining fence setback/landscape buffer with a minimum of one shrub per three (3) linear feet of landscaped frontage per lot.
- Plant shrubs a minimum of two (2) feet from the property line, garden wall, fence or structure.
- Irrigate the entire ten (10) foot landscape buffer with traditional drip for shrubs and with subsurface drip for groundcover and spray for sod.
- Use of native and drought-tolerant plantings in the alley is encouraged.
- Landscape edging is required between shrub beds and turf areas.

TRANSFORMER/PEDESTAL REQUIREMENTS:

- Transformers and pedestals are to be accommodated within the setback (and as needed) with encroachments onto private yards. Buildings and fences must be placed with adequate clear distance from utility structures.
- Plant shrubs at the base of utility structures to screen their appearance, as permitted by utility agencies.



Landscaping shall be provided to adequately screen utility pedestals and transformers.



SPECIAL CONDITIONS

Corner Lot Landscape

Corner Lots are those with frontage on more than one street. Because of their visibility, Corner Lots have a significant impact on the character of the neighborhood. For that reason special standards apply for Corner Lots in Vintage Township.

For Corner Lots the following special design criteria shall apply:

- All areas between a side yard garden wall, fence or other structure, and the back of sidewalk must be landscaped as required for a Front Yard Zone.
- Maintain similar planting densities on all exposed sides of Corner Lot.
- Soften exposed garden walls and fences with screen or blended planting arrangements.
- Wrap corner with bed plantings and turf, when turf is used.

CORNER LOT REQUIREMENTS:

- The front yard landscape and fence or garden wall on corner lots must be continuous around the corner.
- The side yard landscape extends to the garden wall and to the rear necessary building wall.
- The side yard of all corner lots shall include planting of shrubs within a continuous bed. The remaining area is planted with ground cover, perennials, or turfgrass.



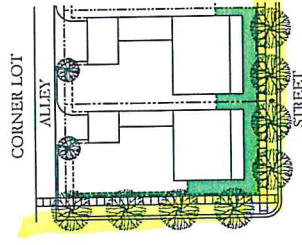
Wrap lawn around corner.



Wrap fence around corner.



Wrap planting around corner.



Signature Lot Landscape
 For lots designated as Signature Lots in the Opportunities and Constraints Plan, or as additionally designated by the DRE, the following special design criteria shall apply. Since Signature Lots are often strategically located, oversized or undersized and/or odd shaped, special landscape considerations are required. Larger scale trees, larger areas of turf, and areas of enhanced or blended planting will help fill in the voids between homes created by a Signature Lot.

- Highlight the distinctive character of Signature Lots with increased emphasis on planting, landscape features, and higher density planting and higher number of trees.
- Additional large scale landscaping is needed to fill voids on Signature Lots.
- Larger plants are encouraged.
- Use screen plantings to mask fences and walls around yards.
- Provide written summary on Landscape Submittal Sheet outlining special design considerations used on each Signature Lot.

SIGNATURE LOT REQUIREMENTS:

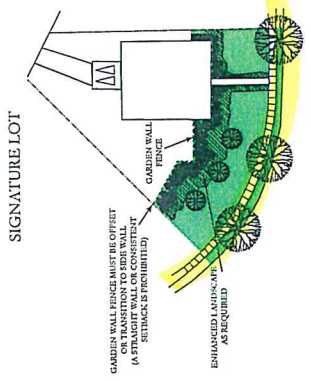
- Controlled Parkway/Tree Lane around corner.
- Gaps in street trees at strategic locations to reveal signature architecture and landscape elements.
- Higher quality, articulated garden wall or fence required.
- Enhanced landscaping required.



Enhanced landscape including porch planting.



Architectural fence treatment.



Bungalow Court Landscape

The Bungalow Court Lots provide a unique living opportunity. All Bungalow Courts are organized around a common, landscaped lawn bordered by shrubs and perennials and ordered by regularly spaced canopy trees. Design of each court shall provide unique identity and character. Where the Bungalow Court is adjacent to homes by different builders, the Master Developer will be responsible for design and construction of the Bungalow Court common area landscape. Individual lot landscape requirements further articulate each court and encourage neighborhood integration. The Bungalow Court common area will be maintained by a Homeowner's Association.

A landscape plan for the Bungalow Court will be provided to each builder owning a lot on the Bungalow Court. It will be the builder's responsibility to create a landscape plan for their respective lot that complies with these Landscape Standards, all directives given in the Bungalow Court landscape plan and to design their landscape to be complementary and transition to the Bungalow Court. Each plan shall be approved by the DRB.

BUNGALOW COURT REQUIREMENTS:

- PICKET FENCE**
 - *Continuous On Property Line (as approved by DRB) ... 30" height*
- FRONT YARD**
 - *Tree Per Lot ... 1 ornamental required*
 - *Entry Walk ... 5' width min.*
 - *Striads ... per front yard requirements*
 - *Groundcovers/Perennials ... per front yard requirements*
 - *Lawn ... per front yard requirements*

COMMON COURT REQUIREMENTS:

- COMMON GREEN**
 - *Canopy Ornamental Trees ... 2 per lot, 25' O.C. min.*
 - *Sidewalk ... 5' width min.*
 - *Lawn ... 65% of Common Green min.*
- LANDSCAPE BORDER AT FENCE**
 - *1 1/2' tall ... see required spacing*
 - *Shrubs/ Groundcovers/ Perennials ... see required spacing*

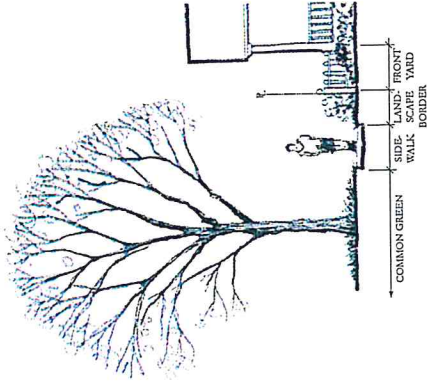
ARBOR
A landscape arbor or other garden architectural element, if placed at the entrance to the court, provides a focal point and enhances the common green.



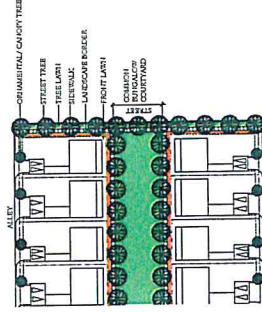
Low level lighting provided at sidewalk entry:



Simple treatment of common space allows for flexible use.



BUNGALOW COURT LOT



Charleston Side Yard

The Charleston side yards are seen when residential building type occupy one side of a lot leaving a generous side yard for placement of a garden or providing front access to outbuildings behind. When offered windowless houses next to the open yard, side yards are well suited for privacy. This type responds to climatic orientation with a one- or two-story piazza facing the prevailing winds and the sun. Generally, the side of the adjacent house abutting the garden is windowless, or has elevated window seals providing privacy.

Conditions

Front Yard and Alley Zone landscape requirements remain as for other types of residences. Courtyards formed by side yards shall meet requirements of Private Yard Zone. Builders and Owners are encouraged to treat courtyard areas as an "outdoor room" using hardscape and landscape materials to create space for outdoor activities.

Design Suggestion

The home will be designed such as to provide a view of the courtyard from all major rooms within the home. By providing enhanced well designed landscaping-the courtyard becomes an extension of the interior of the home making the home feel larger.

On interval lots a maintenance access easement shall be granted to the adjacent Owner for necessary access to the exterior of the building. In the maintenance access easement service gate(s) shall be provided and plant materials shall be limited to small shrubs and groundcover planting that will allow foot and ladder access to the neighboring home.

CHARLESTON SIDE YARD REQUIREMENTS:

FENCE

- Semi-Transparent, Wood Picket, or Ornamental Iron.
- Subsoil 2'-0" minimum from sidewalk.
- 5' height maximum.
- Gate access to street permitted.

FRONT YARD

- Comply with front yard requirements at house.



Option with no fence



Arbor helps break up fence



Fence at street is semi-transparent



Brick and wrought iron fence

FENCING AND GARDEN WALLS

Definition

Fences are defined as lower height, semi-transparent edges, made of painted wood, masonry, ornamental iron, or a combination of the above, generally used to enclose front yard areas. Garden Walls are defined as higher (up to seven (7) feet high) edges, made of natural stained wood, masonry, and/or ornamental steel that often screen undesirable views and/or separate public from private spaces.

Design of Fencing

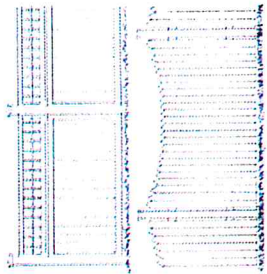
- Fences and garden walls further define private areas around a residential structure.
- Coordinate the design of the perimeter fence or wall with the architectural design, color, and materials of the house. This design shall be approved by the DRB.
 - The design and installation of front yard, side yard, and rear yard fencing, as well as low walls and hedges, must not interfere with AASHTO's stopping site distance requirements.

Adjacencies

Adjacent fences on the same block shall be of the same height and be complementary in design. The design of such fences shall allow the one "finished" side to face the adjacent neighbor or have two "finished" sides.

GARDEN WALLS REQUIREMENTS:

- Garden walls provided along the side and back yards enhance privacy for personal use and enjoyment of the back yard private zone.
- Mid-Block-Side Fence ... 10' back from building front facade
 - Corner Lot-Side Fence ... 20' back from building front facade
 - Rear Yard ... 5' setback from property line
 - Material ... unpainted wood, ornamental iron and/or masonry
 - Finish ... semi-transparent weathering stain or latex, acrylic stain on wood, black ornamental iron or natural materials or stucco on masonry
 - Privacy fencing must incorporate a gate for Fire Department access from the alley.
 - The top 18-24 inches of the fence facing a public street or alley is encouraged to incorporate a change in articulation including a rivet panel similar to those depicted in the accompanying drawings.



Examples of appropriate front yard fencing.

Appropriate privacy fences.

FENCE REQUIREMENTS:

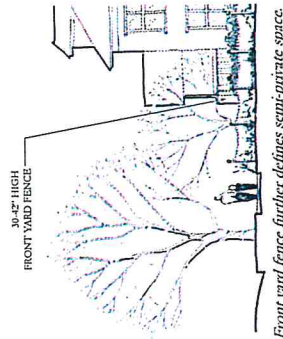
- Front yard fences help define the area between the sidewalk and the front porch. A continuous fence along the property line delineates social realms while maintaining a level of visibility to the street.
- Location ... on front property line
 - Height ... 2'6" to 3'6"
 - Material ... painted wood, ornamental iron, and/or masonry
 - Finish white painted wood picket, black ornamental iron and natural materials, or stucco on masonry.
 - The tops of picket fences may incorporate chamfering or other articulation.
 - Where fences are adjacent to sidewalks they shall not be installed in dangerous areas. A narrow mower strip or planting bed is required to avoid mower damage to fence.

TRANSITION FENCE REQUIREMENTS:

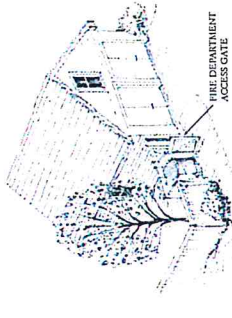
- A transition fence makes a smooth visual connection between the shorter front yard fence and the taller privacy fence. Transition fences are highly encouraged for fencing along a public street.
- Location along side yard on corner lots where Fence meets Garden Wall.
 - Height ... match higher wall
 - Material ... always incorporate rivet panel
 - The final design of all fences shall be approved by the DRB.

HANDRAIL REQUIREMENTS:

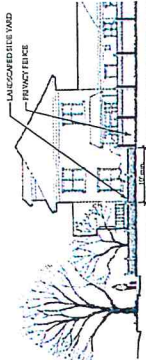
- Where required by code handrails shall be a single tube black painted steel, meeting Americans with Disabilities Act requirements.
- Detached handrails are not permitted in front yards of single family residences.



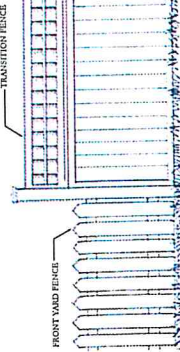
Front yard fence further defines semi-private space.



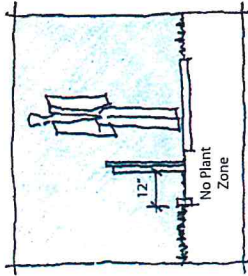
Example of utility enclosure.



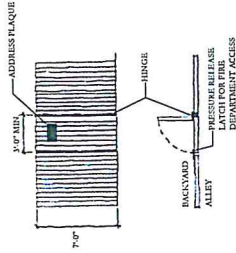
Setting the privacy fence a minimum distance from the front building wall allows for a larger landscaped area between homes.



Transition fence example.



MOVING STRIP AT FENCE
 REQUIRED WHERE FENCING IS ADJACENT TO SIDEWALKS TO AVOID DAMAGE TO FENCE.
 -ORGANIC/INORGANIC MULCH WITH EDGING.
 -MOW STRIP MAY CONTAIN SHRUBS OR ORNAMENTAL GRASSES.



Fire Department Access Gate
 *Required on all privacy fences along residential alley ways, subject to fire department approval.

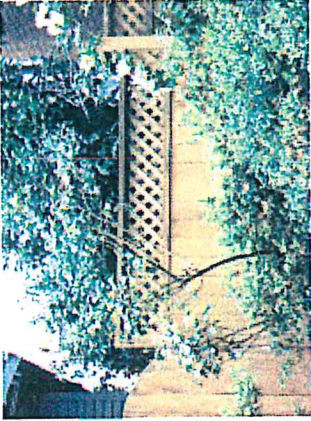
Approved Fencing Examples

FENCE LAYOUT AND INSTALLATION REQUIREMENTS:

- All fences and garden walls shall be installed with the "good side" facing out when adjacent to a public street or alley. The "good side" shall not expose framing or fasteners that are normally associated with the "back side" of the fence.
- Fences and garden walls shall be placed inside the property line of the owner creating the fence. Adjacent homeowners shall have the right to add a second "good side" to a shared fence created by adjacent owner.



Transition fence along an alley.



Privacy fence with articulation and gate.



Alley fence with gate.



Privacy fencing begins at least 10' from the front building wall.



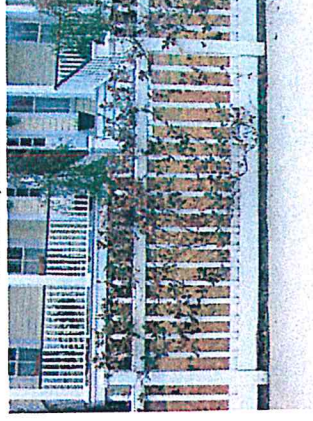
Suitable front yard fence.



Hedge in lieu of fence.



Fence incorporating architectural entry.

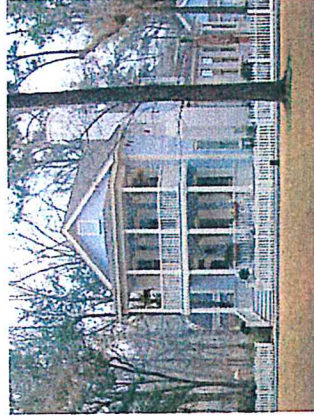


Vegetation used to enhance picket fence.



Semi-transparent privacy fence.

Approved Fencing Examples Continued



PLANTING REQUIREMENTS

General

There are generally four areas where landscape materials are required at Vintage Township: on private property, in the public right of way, in neighborhood parks, and in community parks and plazas.

Lubbock, Texas Climate

Vintage Township has a semi-arid climate with a relatively low amount of annual precipitation 17 inches per year (average) and high summer temperatures (frequently over 100 degrees). Lubbock is located in USDA Zone 7b, with an average annual minimum temperature of 0-5 degrees. Soils generally have a high pH (highly alkaline) and a high salt content. City water sources normally used for irrigation also have a high salt content. Another factor that affects plant hardness and longevity are the strong prevailing winds experienced in this area. For these reasons the Approved Plant Palette is limited to locally native and adapted materials as indicated on the list. Plants listed are selected to be appropriate in this zone.

Irrigation Systems

All landscape areas shall be irrigated with an automatic underground irrigation system. Spray-type irrigation is only allowed for turf and small beds of annuals; all other landscape areas shall have drip or surface irrigation. Due to issues of over-spray and staining of walls, no turf or spray-type irrigation is allowed within three (3) feet of a wall or fence which is located on a property line, including rear and side yards. Irrigation system installation and maintenance is the responsibility of the homeowner. See Irrigation Guidelines.

Plant Varieties and Diversity

While the Approved Plant Palette contains a significant number of acceptable plant species, the best landscapes most often are those that use a limited number of species in appropriate mass planting applications. For example, a well composed landscape plan that uses only six or seven different species in mass plantings with accents will likely be better than a random landscape plan that utilizes twenty different plant species.

Front Yard

The total number of different plant species allowed in the Front Yard Zone is limited to ten (10) species per lot. The total number of different plant species allowed in the Alley Zone is five (5). The combination of shrubs, groundcovers and accent plants shall be at a minimum density of one (1) plant per ten (10) square feet in planting beds. Unless otherwise required, the size of shrubs or groundcovers shall be a minimum one (1) gallon in size at time of installation to satisfy the density criteria. At least seventy percent (70%) of the required shrubs shall be a minimum of five (5) gallon in size at time of installation.

Trees

Street and Canopy Trees
Steady tree-lined streets are an essential element to establishing the type of neighborhood character that Vintage Township provides. Trees add valuable shade, wind break, and aesthetic value to the environment. For that reason strict guidelines are established for the type, size, and location of street trees in the Vintage landscape.

In order to provide a consistent approach that identifies

Vintage as a unique community the trees are organized, by type, into intersection types, and mid-block types. These types are indicated in the Street Tree Master Plan.

Alley Trees

Trees in the alleys are an important element to humanizing and providing shade in this environment. Trees in the alleys shall be deep rooted in order to avoid interference with utilities and pavements.

Other Trees

It is important to include evergreen trees in the landscape in order to provide variety and interest, especially during winter months. Color and interest can also be provided by ornamental flowering and multi-trunk trees as well as large specimen type trees. While not permitted in parkway/tree lawns or alleys, the above trees are encouraged in private yards where appropriate and in public parks and boulevards.

Shrubs and Groundcovers

To ensure similar density and coverage of plant material for all lots, the requirements for shrubs, groundcovers, and accent plants are based on the actual area in square feet of landscaped area excluding any sidewalks, driveways, patios, or other landscape elements. The Front Yard Zone and the Alley Zone are subject to the following minimum size and density requirements.

Perennials, Ornamental Grasses, and Annuals

These materials add color and interest to the landscape and are an essential part of the landscape palette at Vintage Township. The use of perennials, ornamental grasses, and annuals is encouraged in both private and public landscapes.

Turfgrasses

Turfgrasses provide a versatile low maintenance surface material for yards, parkways, and recreational areas. Turfgrasses are categorized as warm season or cool season (see Approved Plant Palette section for types). Varieties of each type are suitable for use at Vintage Township, however in order to maintain a consistent look to the public landscape specific types are identified for use in the Parkway/Tree Lawn, Front Yard, and Alley Zones.

Mulches

Mulches serve several purposes in the landscape: they cover planting beds in order to reduce water loss through evaporation and reduce erosion while providing nutrient to the plants. Acceptable types of mulches include those normally found in Lubbock area landscapes such as shredded soft-

wood, or bark nuggets.

When used in a plant bed, mulch should be placed over a porous fabric weed control barrier. Plastic sheeting is not permitted.

Landscape Grading

In general front yards and side yards facing the street shall be graded in simple even planes without berms, mounds, hollows, or swales. A minimum two percent (2%) and maximum five percent (5%) slope from the foundation to the sidewalk is required.

All slopes shall provide for positive storm drainage runoff and sidewalks shall comply with the requirements of the Americans with Disabilities Act.

Hardscapes

Boulders, Rocks and Cobbles
Boulders, rocks, and cobbles are form-giving elements when used in appropriate locations such as private yards and public parks. Since boulders are not part of the traditional neighbor hood vernacular used at Vintage Township, these materials are not acceptable in parkway/tree lawns or front yard landscapes.

Walls and Planters

In general retaining walls and raised planters are not permitted in public rights-of-way or in front yards except as a required part of attached product such as brownstones and townhouses. Where required retaining walls shall be masonry and of a type and style that is consistent with the building architecture. Walls shall generally not exceed 30" in height and be extended to attach to a building structure or garden wall at the end.

Landscape Pavements

Front yard landscapes shall minimize the use of pavement to be consistent with the parkway/tree lawn landscape. Natural gray Portland cement concrete with a light broom finish is the required front yard sidewalk material.

Acceptable materials for private area and public park landscapes pavements include broom or sandblast-finished concrete for sidewalks and patios, naturally occurring stone materials such as flagstone, limestone, slate or sandstone, or decomposed granite/crusher fine path material.

Landscape Lighting

Landscape accent lighting is permitted in private yards as long as light trespass or glare does not extend beyond the boundaries of the property.

Landscape Review

The builder is required to submit landscape plans for each lot to the Design Review Board for approval. Review is intended to verify compliance with the Vintage Township Landscape Standards, the architectural character of the home and the site criteria established in the Urban Regulating Code. The review also provides a record of the approved landscape for the Homeowners Association. A form is provided that provides additional submittal criteria and a worksheet to be submitted with each application for DRB review.

Approved Plant Palette

The Approved Plant Palette is intended to reinforce the unique character of the Vintage Township neighborhoods. Plant material has been selected for their attractiveness, hardiness, regional character, and relatively low water use. Any deviations to the established palettes and themes whether before or after initial home occupancy requires the prior written approval of the DRB.

(See next sheet for Approved Plant Palette)

APPROVED PLANT PALETTE

Common Name	Botanical Name	Rec Spacing	Minimum Caliper	Rootball Size	Rootball Condition	Special Req
Pecan	<i>Carya illinoensis</i>	25' Min.	4" caliper	40"	Cont or b&b	Sun
Western Hackberry	<i>Celtis occidentalis</i>	25' Min.	4" caliper	40"	Cont or b&b	Sun
Shademaster Honeylocust	<i>Gleditsia tri. inermis Shademaster</i>	25' Min.	4" caliper	40"	Cont or b&b	Sun
Bur Oak	<i>Quercus macrocarpa</i>	25' Min.	4" caliper	40"	Cont or b&b	Full sun adaptable
Chinkapin Oak	<i>Quercus muhlenbergii</i>	25' Min.	4" caliper	40"	Cont or b&b	Sun
Shumard Oak	<i>Quercus shumardi</i> or <i>toxena</i>	25' Min.	4" caliper	40"	Cont or b&b	Full sun moist soil
Southern Live Oak	<i>Quercus virginiana</i>	25' Min.	4" caliper	40"	Cont or b&b	Full sun moist soil
Bird Cypress	<i>Taxodium distichum var</i>	25' Min.	4" caliper	40"	Cont or b&b	Sun
Cedar Elm	<i>Ulmus crassifolia</i>	25' Min.	4" caliper	40"	Cont or b&b	Sun to partial shade
Liveoak Elm	<i>Ulmus parvifolia</i>	25' Min.	4" caliper	40"	Cont or b&b	Sun to partial shade

Common Name	Botanical Name	Rec Spacing	Minimum Caliper	Rootball Size	Rootball Condition	Special Req
Imperial Honeylocust	<i>Gleditsia triecanthes inermis Imperial</i>	25' Min.	3" caliper	36"	Cont or b&b	Sun
Goldenrain Tree	<i>Koeleria paniculata</i>	20' Min.	3" caliper	36"	Cont or b&b	Sun
Chinese Filalache	<i>Pistacia chinensis</i>	25' Min.	3" caliper	36"	Cont or b&b	Sun
Bradford Pear	<i>Pyrus calleryana 'Bradford'</i>	20' Min.	3" caliper	36"	Cont or b&b	Sun

Common Name	Botanical Name	Rec Spacing	Minimum Caliper	Rootball Size	Rootball Condition	Special Req
Desert Willow	<i>Chilopsis linearis</i>	n/a	8-10" height	15 gal	Cont or b&b	Sun
Cherry Laurel	<i>Prunus caroliniana</i>	n/a	6-8" height	15 gal	Cont or b&b	Sun to partial shade
Toxas Red Haw	<i>Crataegus Phenopyrum</i>	n/a	6-8" height	15 gal	Cont or b&b	Sun
Chiata Tree	<i>Vibex agnus-castus</i>	n/a	8-10" height	15 gal	Cont or b&b	Sun to partial shade
Crape Myrtle	<i>Lagerströmia indica</i>	n/a	8-10" height	15 gal	Cont or b&b	Sun
Red Bud	<i>Cercis canadensis</i>	n/a	6-8" height	15 gal	Cont or b&b	Sun
Washington Hawthorne	<i>Crataegus pinnatifidum</i>	n/a	6-8" height	15 gal	Cont or b&b	Sun to partial shade
Yaupon Holly	<i>Ilex vomitoria</i>	n/a	6-8" height	15 gal	Cont or b&b	Sun to partial shade

Common Name	Botanical Name	Rec Spacing	Minimum Caliper	Rootball Size	Rootball Condition	Special Req
Decodar Cedar	<i>Cedrus deodora</i>	n/a	8-10" height	15 gal	Cont or b&b	Sun
Pinon Pine	<i>Pinus combroides</i>	n/a	5-6" height	15 gal	Cont or b&b	Sun
Southern Magnolia	<i>Magnolia grandiflora</i>	n/a	2-1/2" caliper	15 gal	Cont or b&b	Sun to Partial Shade
Aligan Pine	<i>Pinus elliottiana</i>	n/a	8-10" height	15 gal	Cont or b&b	Sun
Japanese Black Pine	<i>Pinus thunbergiana</i>	n/a	8-10" height	15 gal	Cont or b&b	Sun

Common Name	Botanical Name	Rec Spacing	Minimum Caliper	Rootball Size	Rootball Condition	Special Req
Ebbinge's Eleagnus	<i>Elaeagnus hyb ebbingei</i>	2-3' O.C.	n/a	5 gal	Container	Sun to Partial Shade
Dwarf Yaupon Holly	<i>Ilex vomitoria</i>	2-3' O.C.	n/a	5 gal	Container	Sun to Partial Shade
Flowering Quince	<i>Chaenomeles sp</i>	2-3' O.C.	n/a	5 gal	Container	Sun to Partial Shade
Red Yucca	<i>Hesperaloe parviflora</i>	2-3' O.C.	n/a	1 gal	Container	Sun to Partial Shade
Nellie Steven's Holly	<i>Ilex hyb. N stevens</i>	2-3' O.C.	n/a	5 gal	Container	Sun to Partial Shade
Cranberry Cotoneaster	<i>cotoneaster apiculatus</i>	3-4' O.C.	n/a	5 gal	Container	Sun to Partial Shade
Nandina	<i>Nandina sp</i>	2-3' O.C.	n/a	5 gal	Container	Sun to Partial Shade
Blue Yucca	<i>Yucca recurvifolia</i>	2-3' O.C.	n/a	1 gal	Container	Sun to Partial Shade
Glossy Abelia	<i>Abelia x grandiflora</i>	2-3' O.C.	n/a	5 gal	Container	Sun to Partial Shade
Climson Pymy baberry	<i>Berberis thunbergii cp</i>	2-3' O.C.	n/a	5 gal	Container	Sun to Partial Shade
Winter Gym Boxwood	<i>Buxus asiatica winter gym</i>	1-2' O.C.	n/a	1 gal	Container	Sun to Partial Shade
Manhattan Eucyprus	<i>Eucyprus kiel manhattan</i>	2-3' O.C.	n/a	1 gal	Container	Sun to Partial Shade
Spring Glory Forsythia	<i>Forsythia x intermedia</i>	4-5' O.C.	n/a	1 gal	Container	Sun to Partial Shade
Indian Hawthorne	<i>Raphidolys indica</i>	3-4' O.C.	n/a	5 gal	Container	Sun to Partial Shade
Sweet Violet	<i>Ligustrum sinensis 'variegatum'</i>	16-24" O.C.	n/a	5 gal	Container	Sun to Partial Shade
Unvariegated Privet	<i>Ligustrum sinensis 'variegatum'</i>	16-24" O.C.	n/a	5 gal	Container	Sun to Partial Shade

Common Name	Botanical Name	Rec Spacing	Minimum Caliper	Rootball Size	Rootball Condition	Special Req
Dwarf Jap. garden Juniper	<i>Juniperus procumbens nana</i>	2-3' O.C.	n/a	1 gal	Container	Sun
Blue Rug Juniper	<i>Juniperus wilsonii</i>	2-3' O.C.	n/a	1 gal	Container	Sun
Trumpet Honeysuckle	<i>Lonicera sempervirens coral</i>	18-24" O.C.	n/a	1 gal	Container	Sun to Partial Shade
Shore Juniper	<i>Juniperus conferta</i>	3-4' O.C.	n/a	1 gal	Container	Sun to Partial Shade
Blue Sheep Fescue	<i>Festuca ovina glauca</i>	12-24" O.C.	n/a	1 gal	Container	Sun to Partial Shade
Red Carpet Stonecrop	<i>Sedum spurium</i>	12-18" O.C.	n/a	4" pot	Container	Sun to Partial Shade
Money Wort	<i>Lysimachia nummularia</i>	8-16" O.C.	n/a	4" pot	Container	Sun to Partial Shade
Big Blue Turf Lily	<i>Viola muscari</i>	12-24" O.C.	n/a	4" pot	Container	Sun to Partial Shade
Sweet Violet	<i>Viola orozaria</i>	8-16" O.C.	n/a	4" pot	Container	Sun to Partial Shade
Peonible	<i>Viola major</i>	8-16" O.C.	n/a	4" pot	Container	Sun to Partial Shade

Common Name	Botanical Name	Rec Spacing	Minimum Caliper	Rootball Size	Rootball Condition	Special Req
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Big Blue Turf Lily	<i>Viola muscari</i>	12-24" O.C.	n/a	4" pot	Container	Sun to Partial Shade
Sweet Violet	<i>Viola orozaria</i>	8-16" O.C.	n/a	4" pot	Container	Sun to Partial Shade
Peonible	<i>Viola major</i>	8-16" O.C.	n/a	4" pot	Container	Sun to Partial Shade

Common Name	Botanical Name	Rec Spacing	Minimum Caliper	Rootball Size	Rootball Condition	Special Req
Buffalo grass	<i>Buchloea dactyloides (Prairie, Comanche)</i>	n/a	n/a	n/a	Seeded	Private Lawn (Option)
Bermuda grass	<i>Cynodon dactylon (Tilspart)</i>	n/a	n/a	n/a	Seed/Sod	Parks (Req'd)
Bermuda grass	<i>(any type)</i>	n/a	n/a	n/a	Seed/Sod	Alley (Req'd)
Bluegrass	<i>(Fovelle)</i>	n/a	n/a	n/a	Seed/Sod	Private Lawn (Option)
Tall Fescue	<i>Festuca elatior</i>	n/a	n/a	n/a	Sod	P/TL & F/Yards (Req'd)

Annual and Perennial Color
 Due to the large varieties available, perennials and annuals not listed. Annual and Perennials are encouraged in the Village Township and are subject to approval by DRB.

APPROVED LANDSCAPE MATERIALS

MULCHING REQUIREMENTS:

Mulching is required to help newly planted landscape materials retain moisture and establish healthy root systems, reduce weeds, and protect plants from lawn mower damage.

CANOPY AND ORNAMENTAL TREES

Install a mulch ring at the base of each canopy and ornamental tree. At the time of planting, the ring must have at least a 2' radius, measured from the center of the tree trunk. This mulch ring must be of organic material and be a depth of 3-4".

SHRUB AND PERENNIAL BEDS

Place all shrubs and perennial plants in beds mulched with shredded bark. The bark must cover the entire planting bed to a depth of 3-4".

WEED BARRIER

When appropriate, install a continuous weed barrier below the mulch at planting time.

EDGER

At planting time, install a continuous edger between the plant bed and lawn. Acceptable edge materials include steel minimum 1/8" thick and 4" depth, concrete and masonry.

HEDGE REQUIREMENTS:

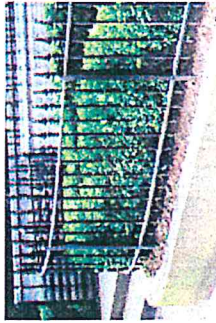
Hedges delineate property boundaries. When used, they must be continuous along the front and side property line along a street.

- Trimmed Height 36" max.

LANDSCAPE WALL REQUIREMENTS:

Walls are used to create privacy and extend architectural elements into the landscape.

- Height 36" max.
- Material stone, masonry, or appropriate principal building materials. The final design must be approved by the DRB.



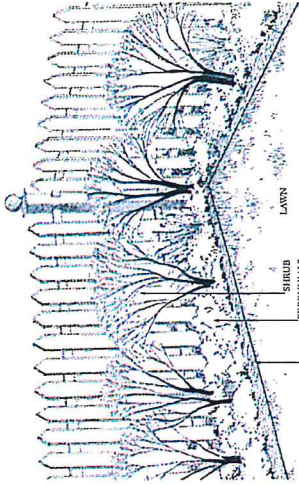
The low wall, fence, and hedge combination clearly defines the public and semi-public realm.



Hedges delineate property boundaries.



Low walls extend architectural elements into the landscape.



A continuous mulch bed ties various plants together and keeps them away from fence.

SEASONAL LANDSCAPE REQUIREMENTS:

Planting schemes for seasonal color of foliage and perennials in Front and Side Yard Zones should blend into the landscape setting.

SOIL REQUIREMENTS:

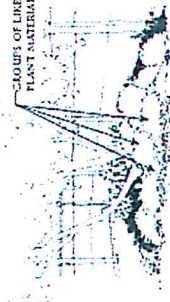
The composition of soils at Vintage Township varies from earth moraine and glacial till to clay loam and silt loam. All landscape areas should be prepared with placed topsoil, amended as advised by a soil testing laboratory, and fine graded to provide transition to adjacent areas.

- Tree pits that do not percolate must be under-drained.

IRRIGATION REQUIREMENTS:

- Tree lawns, front yards, and alley-landscape must be irrigated. Irrigate these areas to coincide with the identified landscape standards per lot type beginning on page VI - 7.
- A properly designed spray irrigation system that provides full coverage must be used on all tree lawn and front yard lawn areas.
- A properly designed traditional drip irrigation or sub-surface irrigation system that provides full coverage must be used for all shrub and groundcover plantings.
- Spray irrigation must not be used within 5' of foundations.

MASSING AND ORDER REQUIREMENTS:
Trees, shrubs, hedges, and groundcover should be massed to define outdoor spaces, reinforce the primary entry, and enhance the house design, the street, and the neighborhood. Massing plants of one species is highly recommended, particularly next to fences or walls. Hedges are a prominent example of massing.



The massing of plants enhances the overall design and character of the neighborhood.